

BOARD OF SUPERVISORS
Zoning & Code Enforcement
Hanover Township Northampton County
3630 Jacksonville Road
Bethlehem, Pennsylvania 18017-9302
610.866.1140
Fax 610.758.9116

February 2, 2026

To: Board of Supervisors
Mark Hudson
Kimberly Lymanstall
Barbara Baldo
Brian Dillman
Jesse Chupella
Matthew J Deschler, Esquire
Jim Broughal, Esquire
Brien Kocher, HEA

RE: Zoning Petition: 26ZHB02
Applicant: JPMorgan Chase Bank, N.A
Property location: 3760 Fairview St
Zoning District: LBD (Limited Business District)

Enclosed is a copy of the application received February 2, 2026, requesting a variance for the maximum allowed sizes of a monument sign and wall mounted sign.

The next meeting is tentatively scheduled 7:00 PM Thursday, February 26 2026. Notice of Hearing to follow.

Tracy Luisser



PHILADELPHIASIGN
BRINGING THE WORLD'S BRANDS TO LIFE

MEMO

Date: 1/30/26
To: Tracey Luisser
Hanover Township Northampton Country
3630 Jacksonville Road
Bethlehem, PA 18017
610-866-1140 ext 236

From: Philadelphia Sign Co
Eric Metzger
Re: Variance Application for Chase Bank
3760 Fairview St, Bethlehem, PA 18017

Good afternoon- In the package you will find the 22 copies of the completed variance package for the proposed signage that the Chase Bank would like to present our case to the planning/zoning board. If you could please review the completed applications and if there is anything else that may be needed, please let me know.

Sincerely;

Eric Metzger
Sr. Project Manager
856-701-7324
emetzger@pscospigngroup.com



BY: DU \$1,000 #193103





HANOVER TOWNSHIP, Northampton County

3630 Jacksonville Rd, Bethlehem PA 18017

Phone 610-866-1140 Fax 610-758-9116

PETITION

NOTICE: This Petition, in order to be acted upon by the Zoning Hearing Board must be fully completed in accordance with the "instructions to applicant." Failure to do so will result in a denial of the Petition without refund of your filing fee.

Application is made this 28th day of January, 20 26

I. PROPERTY INFORMATION (*location and existing conditions for which a special permit is being applied*):

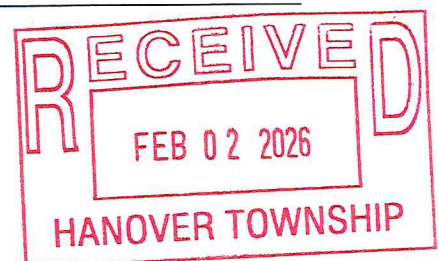
1. Address of property for which a special permit is requested: 3760 Fairview St Bethlehem Fairview, PA 18017
2. Tax Parcel No.: M6SW222 2 2 0214
3. Current Zoning Classification: Commercial
4. The Dimension of the land area are: 1.0732
5. The real estate contains 46748.592 square feet.
6. The real estate in question is presently classified under the Hanover Township Zoning Ordinance as: Commercial
(a) The real estate is presently used for the purpose of: retail bank
(b) and contains buildings and other improvements consisting of (if real estate is vacant land, so note): bank branch building and associated improvements

II. OWNER INFORMATION

1. Owner of property: Wegmans Food Markets, Inc. Telephone N/A
(all parties to the title must be listed, attach additional page if needed)
Address PO Box 24470
Rochester, NY 14624


III. APPLICANT INFORMATION (*herein after known as the "Petitioner"*)

1. Applicant ("Petitioner(s)") JPMorgan Chase Bank, N.A. Telephone +1-614-248-3128
(all parties must be listed, attach additional page if needed)
Address 1111 Polaris Parkway
Columbus OH 43240
2. Petitioner is the (check one or more)
☐ Owner ☐ Occupant ☐ Agent for: N/A ☒ Other: Equitable Owner
3. Attorney representing Petitioner(S): Robert M. Careless, Telephone (215) 665-4798
Address One Liberty Place, 1650 Market Street, Suite 2800, Philadelphia, PA 19103
4. Petitioner: (check appropriate action)
☐ Hereby appeals from the decision of the Zoning Administrator, or other township Official; or
☒ Hereby applies for a special exception or permit, or variance, from the terms of the Zoning Ordinance; or
☐ Hereby applies for: N/A
N/A
5. Petitioner appeals or makes application from the order, requirement, decision or determination of the Zoning Administrator or other Township Official made on N/A, 20 N/A, which was as follows: (quote, or if insufficient space, attach additional page). N/A
N/A



6. Petitioner claims that the variance, exception, or other relief should be granted as herein requested under the following sections of the Hanover Township Zoning Ordinance. (cite all sections supporting your position, or relevant to the consideration of your Petition) see attachment
7. The variance or exception requested and the new improvements desired to be made as follows:
- (a) Building(s) to be erected: N/A - no buildings to be erected; see attachment
- (b) Building(s) to be changed: Signage - see attachment
- (c) Building(s) to be used for: see attachment
8. The plot plan, drawings, sketches and other exhibits attached hereto are made a part hereof. Please include 22 copies of the petition and all these attachments. - N/A
9. Petitioner believes that the exceptions, variance, Conditional Use or other relief requested should be granted for the following reasons: (attach additional sheet if necessary) see attachment
10. Petitioner agrees to comply with all provisions of the Hanover Township Zoning Ordinance and is aware that the Ordinance provides for penalties for violations of its provisions.
11. The Petitioner further acknowledges that the Board does not have to consider any application until all information requested by the Board of Supervisors is submitted by said applicant, and that in the event this information is not submitted in full within twenty (20) days from the date of the initial Board of Supervisors Hearing, then the Board may deny such application, with or without prejudice to the applicant.
12. Wherever additional information is requested by the Zoning Hearing Board, and leave to submit additional information is specifically granted by the chairman of the Zoning Hearing Board, then in consideration of the Board's forbearance in not refusing the application at the conclusion of the hearing, the Petitioner agrees to extend the time for consideration of the application by the Zoning Board for the number of days after the date of decision specified in any Ordinance of the Township, by the same number of days which the Zoning Hearing Board's consideration of the Petition was delayed by failure on the part of Petitioner to submit additional information requested.

NOTE: All Petitioners must sign
at least one must sign in the
presence of a person capable
of administering an oath (see below)


Petitioner Todd Samms, VP of JPMorgan Chase Bank, N.A.
(AKA TODD K SAMMS)
(SEAL)

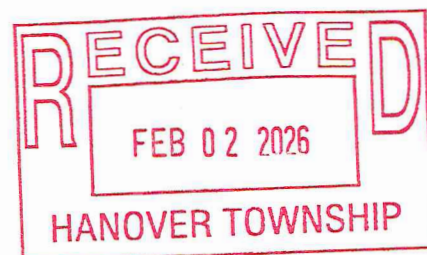
(SEAL)

(SEAL)

(SEAL)

(SEAL)

NOTE: The following affidavit must be taken before a Notary Public or other appropriate official by one of the Petitioners.



FOR INDIVIDUAL PETITIONERS:

COMMONWEALTH OF PENNSYLVANIA)
) ss:
COUNTY OF N/A)

ON THIS, the N/A day of N/A, 20 N/A, before me, N/A
N/A the undersigned officer,
personally appeared, N/A
known to me (or satisfactorily proven) to be the person whose name (is)(are) subscribed to the within instrument, and
acknowledged that he executed the same for the purposes therein.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

N/A (SEAL)
Signature of the Petitioner taking affidavit

Sworn to and subscribed before me
This N/A day of N/A 20 N/A

N/A
NOTARY PUBLIC

FOR CORPORATE PETITIONERS:

COMMONWEALTH OF PENNSYLVANIA Ohio)
) ss:
COUNTY OF Franklin)

ON THIS, the 28th day of January, 20 26, before me, Todd Samms,
VP of JPMorgan Chase Bank, N.A. the undersigned officer,
personally appeared, Todd K Samms,
who acknowledged self to be the Vice President of
JPMorgan Chase Bank, N.A., a corporation, and that he as such OFFICER being
authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the
corporation by self as VICE PRESIDENT.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Todd K Samms (SEAL)
Signature of the Petitioner taking affidavit
Todd Samms, VP of JPMorgan Chase Bank, N.A.
(AKA TODD K SAMMS)

Sworn to and subscribed before me
This 28th day of Jan 20 26

Munawwer A Khan
NOTARY PUBLIC



MUNAWWER A KHAN
Notary Public
State of Ohio
My Comm. Expires
August 21, 2027



JPMorgan Chase Bank, N.A.
3760 Fairview Street
Tax Parcel No. M6SW22
Hanover Township Zoning Hearing Board



Attachment to Application

This Application is submitted to the Hanover Township Zoning Hearing Board ("ZHB") by JPMorgan Chase Bank, N.A. ("Chase") in connection with proposed signage for the property located at 3760 Fairview Street (the "Property"). The Property is owned by Wegmans Food Markets, Inc. ("Wegmans"). Chase is the equitable owner of the Property and, pursuant to the Agreement of Sale with Wegmans dated September 8, 2025 (as amended) and the Pennsylvania Municipalities Planning Code, 53 P.S. § 10101 *et seq.*, has standing to submit this Application. The cover, first, and signature pages of the Agreement of Sale are attached hereto as **Exhibit A**.

The Property is located at the signalized intersection of Bath Pike and Stoke Park Road, with additional frontage along Fairview Street, within the Limited Business Zoning District ("LBD"). The LBD is designated as an "Employment District" under the Township Zoning Ordinance. The Property is improved with an existing bank branch building (formerly occupied by TD Bank). The existing and proposed continued use of the Property as a retail bank is permitted by right pursuant to Section 185-37.B(3) of the Zoning Ordinance.

Section 185-19.D(3) of the Zoning Ordinance governs signage within the LBD and limits the Property to:

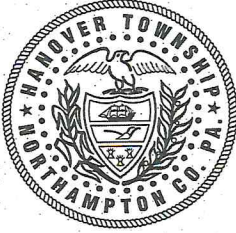
- one freestanding sign with a maximum sign area of 30 square feet total (i.e., 15 square feet per side); and
- one wall-mounted business sign consisting of individual letters not exceeding eight (8) inches in height and a total sign area of 16 square feet. The wall sign is further limited to a maximum height of ten (10) feet above grade and must be located on or near the main entrance.

Chase requests variances from: (1) Section 185-19.B(4)(b) to permit the installation of a new freestanding sign containing 59 square feet of total sign area (29.5 square feet per side); and (2) Section 185-19.D(3)(c) to permit a wall-mounted sign located 12 feet above grade with a total sign area of 16 square feet and letter height of sixteen (16) inches. Chase's proposed signage package, prepared by Philadelphia Sign Company, is attached hereto as **Exhibit B**.

The variances requested by Chase are dimensional in nature. Under Pennsylvania law, a dimensional variance involves a request to adjust zoning regulations to use the property in a manner consistent with regulations; by contrast, a use variance involves a request to use property in a manner that is wholly outside zoning regulations. *Hertzberg v. Zoning Bd. of Adjustment of the City of Pittsburgh*, 721 A.2d 43, 47 (Pa., 1998). In *Hertzberg*, the Pennsylvania Supreme Court established a relaxed standard for the grant of dimensional variances. Multiple factors may be considered, including "the cost of the strict compliance with the zoning ordinance, the economic hardship that will result from denial of a variance, and the characteristics and conditions of the surrounding neighborhood." *Id.* at 50. In *Gallagher v. Zoning Hearing Bd. of*

Haverford Twp., the Commonwealth Court affirmed the grant of a dimensional variance for signage by highlighting the commercial nature of the surrounding area of the subject property, the subject property's frontage along a busy road in the township, and the presence of larger commercial signs across the street from the subject property. *Gallagher v. Zoning Hearing Bd. of Haverford Twp.*, 1788 C.D. 2012, 2013 WL 3984751, at 10 (Pa.Cmwlt. May 21, 2013) (unreported).

Consistent with this authority, Chase respectfully submits that the requested relief should be granted. The Property is located in a predominantly commercial corridor and along major roads in the Township. Nearby properties are improved with more prominent signage, including nearby bank signage (e.g., PNC Bank). Granting the requested dimensional relief will not alter the essential character of the neighborhood and will promote the health, safety, and general welfare by improving the visibility and legibility of the signage for motorists traveling through this area, thereby enhancing safe navigation and wayfinding.



BOARD OF SUPERVISORS
Zoning & Code Enforcement
Hanover Township Northampton County
3630 Jacksonville Road
Bethlehem, Pennsylvania 18017-9302
610.866.1140
Fax 610.758.9116

January 14, 2026

Eric Metzger
Philadelphia Sign Co
707 West Spring Garden St
Palmyra, NJ 08065

RE: Building Sign – Permit Denial

Dear Mr. Metzger,

We received a Zoning and Building permit application for a (1) wall mounted sign and (1) monument sign for Chase Bank located at 3760 Fairview St, Bethlehem, PA on January 13, 2026. The application has been reviewed for compliance with Hanover Township Zoning Ordinance §185-19 Sign Regulations; the proposed wall mounted sign exceeds the maximum allowable square footage of 16 square feet for allowable building signs. The monument sign exceeds the maximum allowable square footage of 50 square feet.

Therefore, your application for a wall mounted and monument signs is hereby denied. Please be advised you are permitted one wall mounted sign having a maximum of 16 square feet and one monument sign meeting the following sign provisions of the Ordinance as noted below.

185-19 Sign Regulations

B. (4) Other Requirements

(c) Both sides of a two-sided sign count toward the total maximum allowable sign coverage.

D.(3) Employment Districts

(b) An industrial park, business park (or office and institutional area) developed according to a unified site plan shall be permitted only one identification sign not to exceed 50 square feet in area.

(c) Individual uses shall be permitted only one wall-mounted business sign consisting of letters not to exceed 16 square feet in area and meeting the following criteria:

- [1] Letters to be a maximum of eight inches high.
- [2] Letters to be located four feet to 10 feet above grade.
- [3] Located on the users door or near the user's door.
- [4] All mounted signs for one building shall be similar to one another.

Consider this letter as rejection of your application in accordance with Section 185-26 of the Hanover Township Zoning Ordinance.

You have the right to appeal my decision to the Zoning Hearing Board in thirty (30) days.

Should you have any questions, please feel free to contact me.

Sincerely,

Tracy Luisser

Tracy Luisser, BCO/Zoning Officer
Hanover Township Northampton County



EXHIBIT "A"



AGREEMENT OF SALE

Between

WEGMANS FOOD MARKETS, INC.

Seller

and

JPMORGAN CHASE BANK, N.A.

Purchaser

Dated: September 8, 2025

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SCHEDULE OF EXHIBITS

Exhibit 1.1	Legal Description
Exhibit 1.2	Seller's Monument Sign
Exhibit 1.3	Wegmans Parcel
Exhibit 5.2	Form of Deed
Exhibit 10.1.3	Entity Transfer Certification
Exhibit 10.1.5	Bill of Sale
Exhibit 10.1.6	Assignment and Assumption of Intangible Personal Property
Exhibit 10.1.7	Form of Sign Easement
Exhibit 10.1.8	Form of RC Agreement

With a required copy to:

Wegmans Food Markets, Inc.
Attention: Michelle Daubert
1500 Brooks Avenue, PO Box 30844
Rochester, NY 14603-0844
Email: Michelle.Daubert@wegmans.com

and

Troutman Pepper Locke LLP
Attention: Julia E. Tomec, Esquire
3000 Two Logan Square
Eighteenth and Arch Streets
Philadelphia, PA 19103
Email: Julia.Tomec@troutman.com

If to Purchaser:

JPMorgan Chase Bank, National Association
237 Park Avenue, 12th Floor
Mail Code: NY1-R060
New York, New York 10017-3140
Attn: Owned Property Administration

With required copies to:

JPMorgan Chase Bank, National Association
237 Park Avenue, 12th Floor
Mail Code: NY1-R060
New York, New York 10017-3140
Attn: Real Estate Strategic Plan Director

JPMorgan Chase Bank, National Association
Legal Department
1111 Polaris Parkway, Suite 4P
Mail Code OH1-0152
Columbus, Ohio 43240-2050
Attn: Real Estate Counsel


Cozen O'Connor
1650 Market Street, Suite 2800
Philadelphia, PA 19103
Attn: Elizabeth Kearney
E-mail: ekearney@cozen.com

or to such other address as either party may from time to time specify in writing to the other party.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date first written above.

SELLER:

WEGMANS FOOD MARKETS, INC.,
a New York corporation

By: 
Name: KEVIN J. MAGLIARO
Title: CFO

PURCHASER:

JPMORGAN CHASE BANK, N.A.,
a national banking association

By: _____
Name: _____

With respect to Section 4 only:

ESCROW AGENT

CHICAGO TITLE INSURANCE COMPANY

By: _____
Name: _____
Its: _____
Title: _____

Signature page to Agreement of Sale

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date first written above.

SELLER:

WEGMANS FOOD MARKETS, INC.,
a New York corporation

By: _____
Name: _____
Title: _____

PURCHASER:

JPMORGAN CHASE BANK, N.A.,
a national banking association

By: _____
Name: _____

Signed by:
Ashlee Kelly
AE364C86E3644B3
Ashlee Kelly

With respect to Section 4 only:

ESCROW AGENT

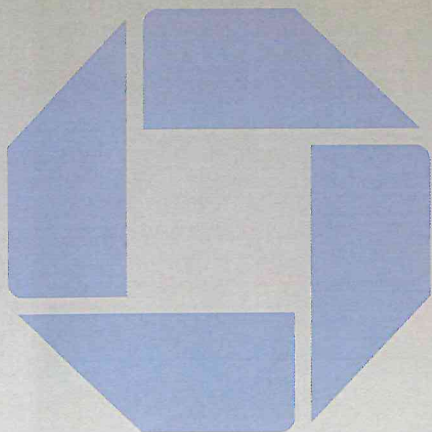
CHICAGO TITLE INSURANCE COMPANY

By: *Andrew Bramhall*
Name: Andrew Bramhall
Its: National Commercial Counsel
Title:

Signature page to Agreement of Sale

EXHIBIT “B”

CHS NB 1746
Bethlehem Fairview
3760 Fairview St
Bethlehem, PA 18017



R1 Permit
Drawing 1 22
25



SITE PLAN

Exterior Scope of Work

G01	M-25	M-25	29. SF
B01	LIF-WBO-16	16" illuminated channel letterset	16. SF



CHASE

CHS.NB.1746 Bethlehem Fairview Ave

DESIGNER •

10 1 25

DRAWING •

PHILADELPHIASIGN
BRINGING THE WORLD'S BRANDS TO LIFE

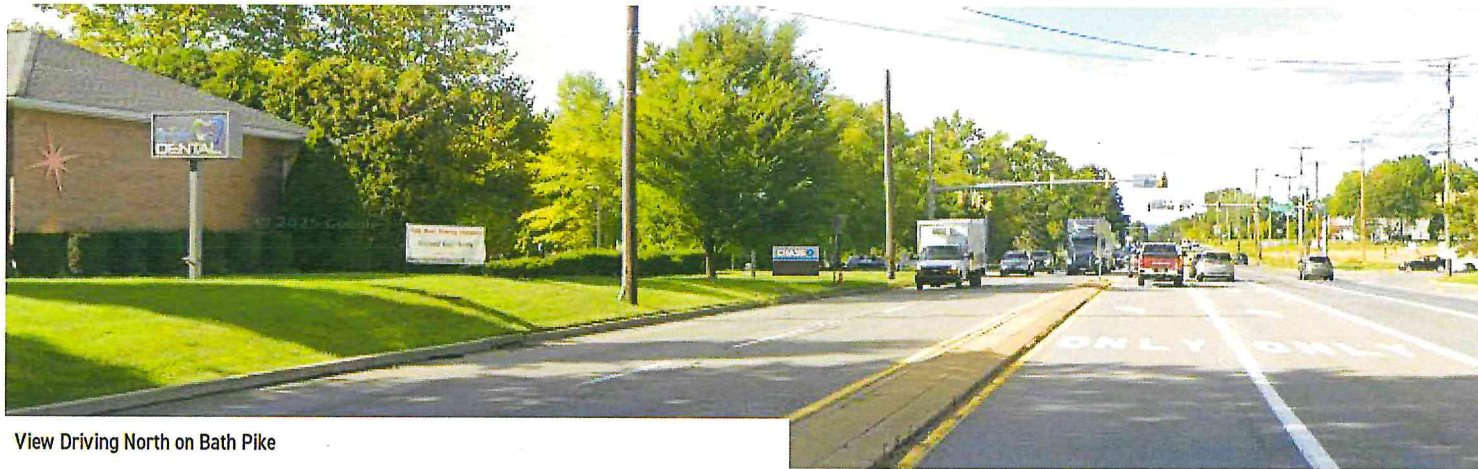
707 WEST SPRING GARDEN ST • PHILADELPHIA, NJ • 08055
P: 856-429-1400 • F: 856-929-8543 • WEB: <http://www.philadelphiasign.com>

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BRAND PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.

PYLON SIGNAGE-M-25



View Driving South on Bath Pike



View Driving North on Bath Pike

CHASE 

CHS.NB.1746 Bethlehem Fairview Ave

DESIGNER -

10 1 25

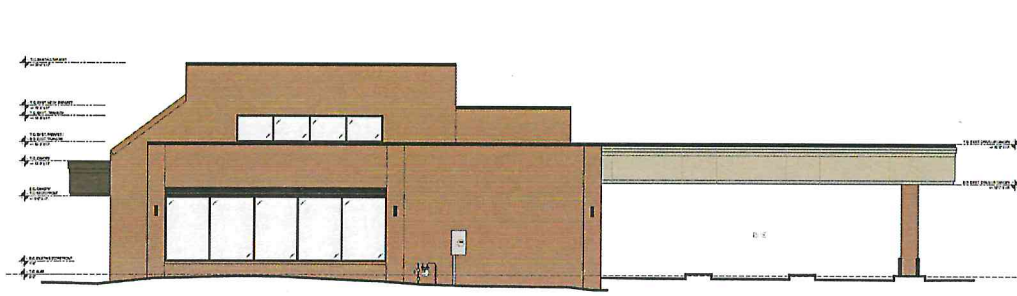
DRAWING -

 **PHILADELPHIASIGN**
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P: 856-828-1400 • F: 856-828-8549 • WEB: <http://www.philadelphiasign.com>

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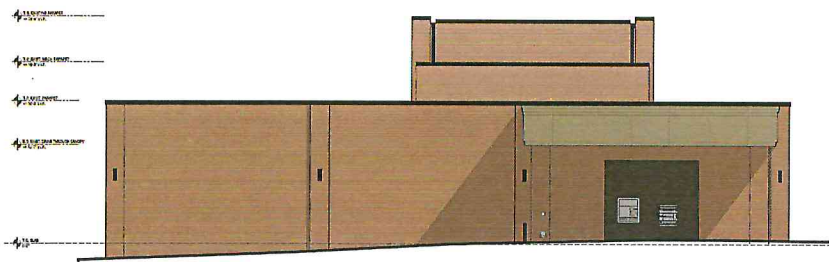
ELEVATIONS



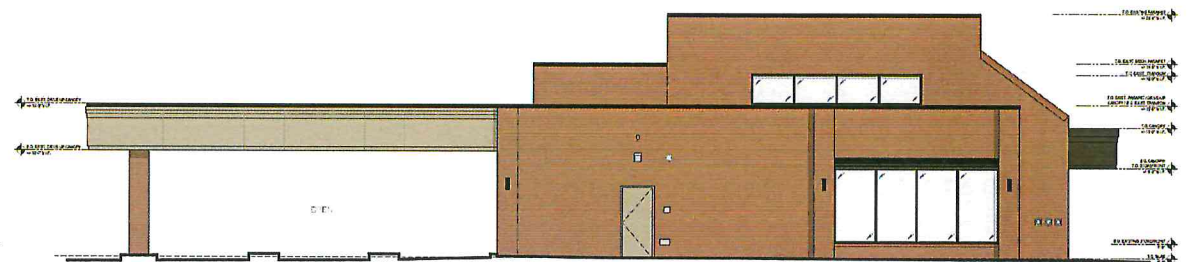
NORTH ELEVATION (STOKE PARK RD.)



EAST ELEVATION (BATH PIKE)



WEST ELEVATION (FAIRVIEW ST. / ATM)



SOUTH ELEVATION (PARKING/ADJACENT PROPERTY)



CHS.NB.1746 Bethlehem Fairview Ave

DESIGNER -

10.1.25

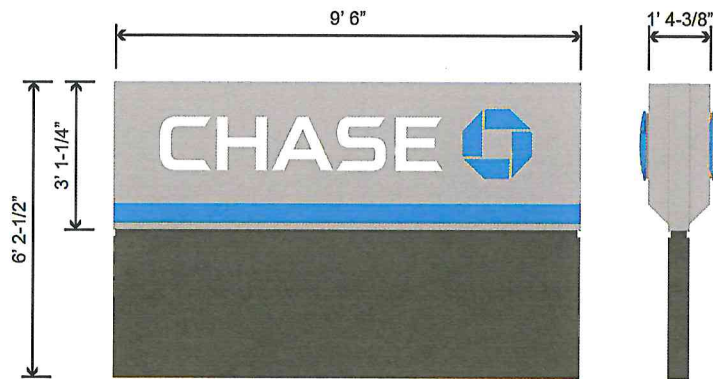
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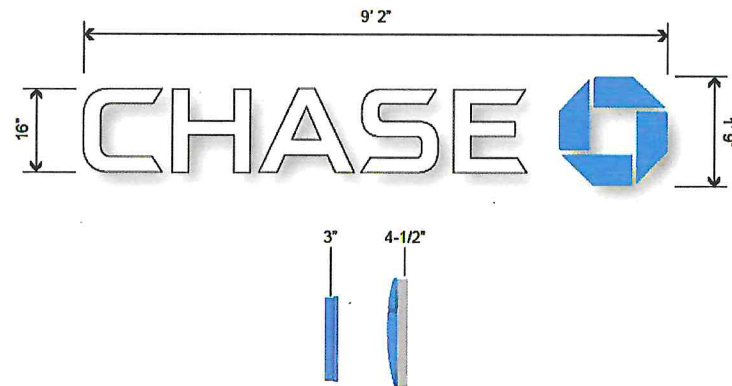
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SIGNAGE



G01 M-25
Double-Faced Illuminated Monument - 29.5 sf



801.
LIF-WB0-16-LED White w/ Blue Octagon Illum Channel Letters 16.0 SF



CHS.NB.1746 Bethlehem Fairview Ave

DESIGNER -

10 1 25

DRAWING -

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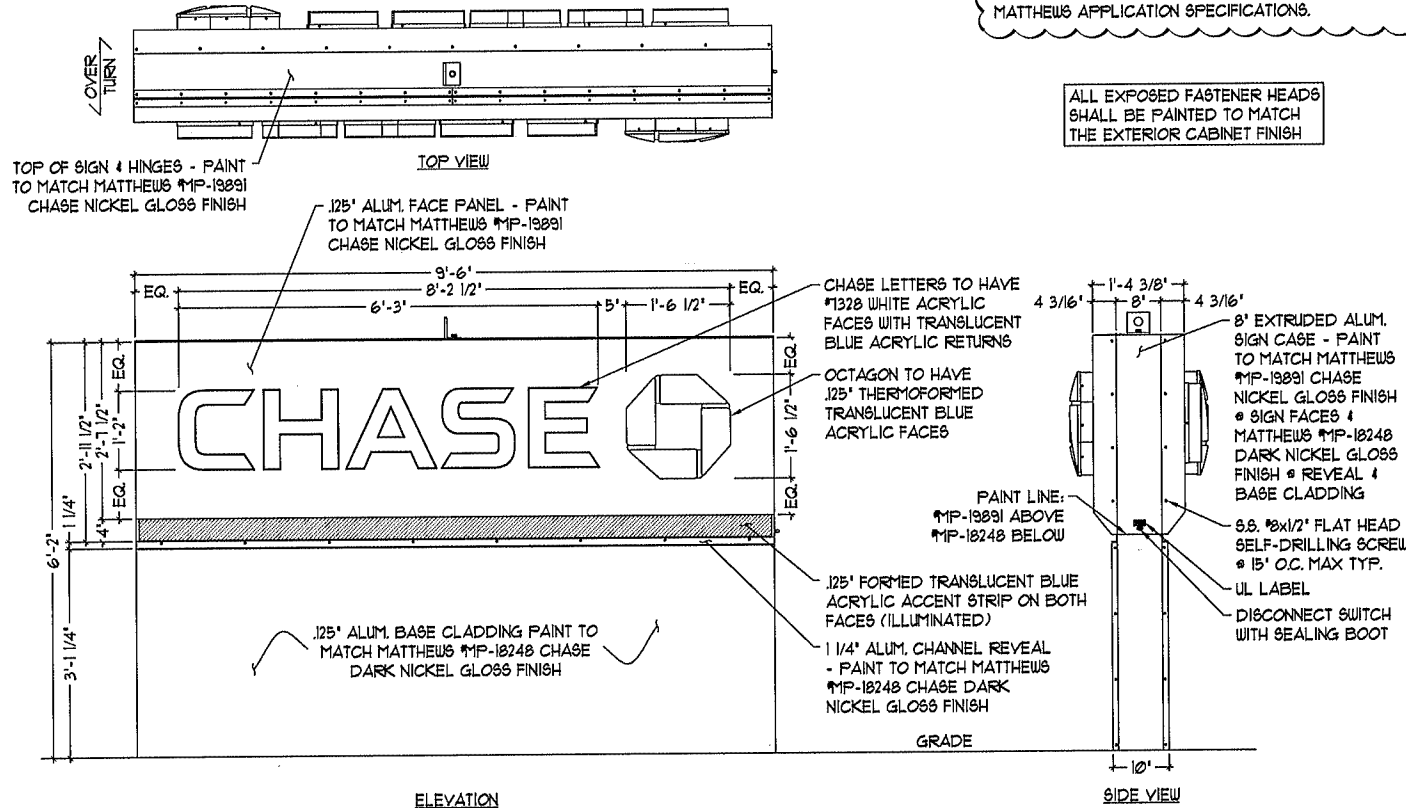
THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.

General Notes:

- Design is based on a 115 mph, 3 second gust wind design per IBC 2018 (ASCE 7-16), Category II, Exposure C.
- Spread foundation is based on a presumptive safe vertical soil bearing pressure minimum of 2000 psf. Caisson and Vertical Slab foundations are based on a presumptive safe lateral soil bearing pressure minimum of 150 psf per foot of depth. Isolated lateral bearing footings subject to short-term lateral loads and not adversely affected by a 1/2" motion at grade are permitted to be designed using twice the tabulated value of the corresponding soil class.
- A soil report was not provided. Foundation analysis assumes Soil Classification 4. Allowable bearing pressure should be verified prior to placement of concrete. In the event that the stated requirements are not met and conditions appear deleterious, cease and secure excavation and immediately contact JP Morgan Chase.
- Foundation shall not be placed at the top of, or on the side of a slope exceeding 3:1, or adjacent to a fill slope unless re-evaluated by a competent Professional Engineer. Do not place foundation in fill.
- Concrete shall be mixed to attain a minimum 28 day compressive strength of 3000 psi.
- Steel reinforcing bars shall conform to ASTM A615, Grade 60 with deformations in accordance with ASTM A305. Welding of reinforcing bars is prohibited.
- All voids between column base plate and foundation surface shall be completely filled with high-strength, non-shrink grout.
- Anchor bolts shall meet ASTM F1554 Grade 36 and be hot dipped galvanized to prevent corrosion.
- All support members shall be free from defects. Steel tube shall meet ASTM A500 Grade B with a minimum yield strength of 46000 psi. Steel angle, channel and plate shall meet ASTM A36. Extruded aluminum shapes shall be 6061-T6 alloy. Aluminum sheet shall be 3003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
- Welds shall be made with low hydrogen E70xx electrodes for steel & with 5356 filler for aluminum by persons qualified in accordance with AWS standards within the past two years.
- All structural bolts shall conform to ASTM A325, and be zinc coated unless noted otherwise. When used with structural bolts, heavy hex nuts shall conform to ASTM A563, and washers shall conform to ASTM F436. Pretension all high strength bolts using the Turn-of-Nut method unless noted otherwise.
- JP Morgan Chase will not be responsible for the safety on this job site before, during or after installation of this structure. It is the responsibility of the contractors and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
- Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from JP Morgan Chase voids this drawing in its entirety.
- The structure designed on this drawing is prototypical and should not be used for site specific applications unless reviewed & deemed suitable for use at that location by a Competent Professional Engineer.

ALL EXPOSED PAINTED SURFACES SHALL BE COATED WITH MATTHEWS #182-2085P VOC GLOSS CLEAR, WITH MINIMUM 2 MILS DRY FILM THICKNESS (DFT) PER MATTHEWS APPLICATION SPECIFICATIONS.

ALL EXPOSED FASTENER HEADS SHALL BE PAINTED TO MATCH THE EXTERIOR CABINET FINISH



CHASE

These documents represent prototypical design drawings created specifically for use by JP Morgan Chase. Use of this unpublished work for any purpose other than the intended application is strongly discouraged. Disclosure or reproduction of any of the information contained within these documents without the written consent of the owner is strictly prohibited.

SHT. 1 OF 10

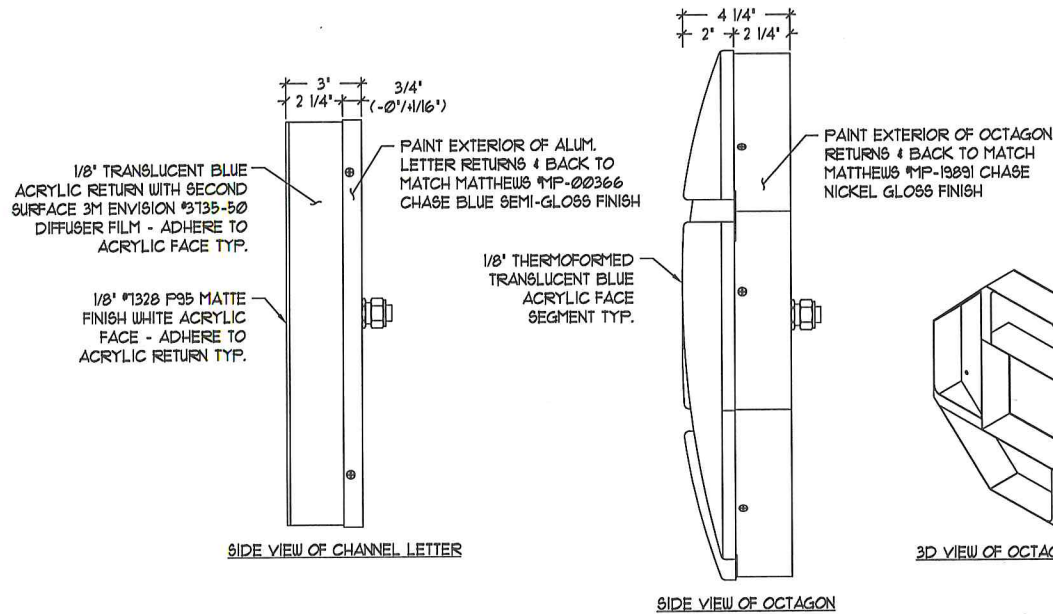
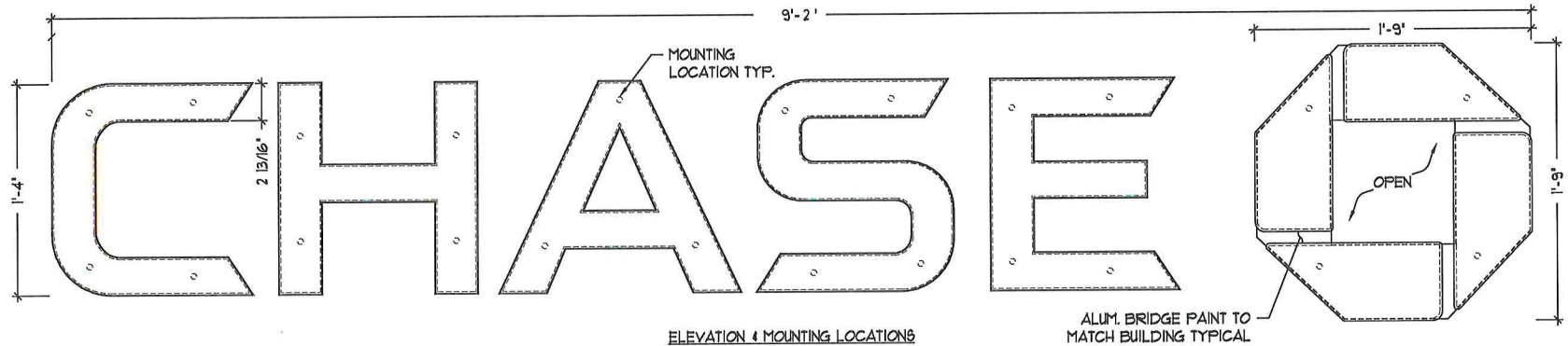
BY: GHK
DATE: 12/3/24

Designation: M-25 MONUMENT
Drawing No. B2448014

REV.	DATE	DESCRIPTION
1		

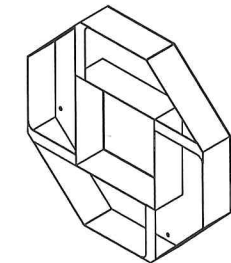
REV.	DATE	DESCRIPTION	BY:	APR.
1				

GRAPHICS DEPICTED ARE FOR ILLUSTRATIVE PURPOSES ONLY! USE ONLY APPROVED ARTWORK FOR PRODUCTION.

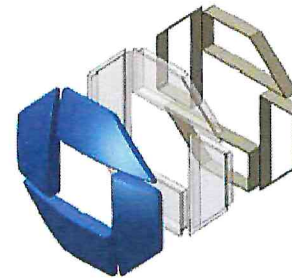


SEE SHEET 1 OF 1 FOR PREFERRED
DISCONNECT SWITCH LOCATION FOR REMOTE,
NON-PARAPET WALL INSTALLATION

ALL EXPOSED FASTENER HEADS
SHALL BE PAINTED TO MATCH
THE EXTERIOR CABINET FINISH



3D VIEW OF OCTAGON CABINET



3D VIEW OF OCTAGON

General Notes:

- Design is based on a 115 mph, 3 second gust wind design per IBC 2018 (ASCE 7-16), Category II, Exposure C, Components and Cladding Zone 5.
- No additional wind catching surfaces are added to the building structure. The customer's building engineer is to determine the adequacy of the supporting structure.
- Extruded aluminum shapes shall be 6061-T6 alloy. Aluminum sheet shall be 3003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
- All welds shall be made using a 5356 series filler for aluminum by persons qualified in accordance with AWS standards within the past two years.
- All fasteners shall be stainless steel or zinc coated to prevent corrosion.
- All wall penetrations shall be sealed to prevent water intrusion.
- J.P. Morgan Chase will not be responsible for the safety on this job site before, during or after installation of this structure. It is the responsibility of the contractor and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
- Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from J.P. Morgan Chase voids this drawing in its entirety.
- The structure designed on this drawing is prototypical and should not be used for site specific applications unless reviewed & deemed suitable for use at that location by a Competent Professional Engineer.

CHASE

These documents represent prototypical design drawings created specifically for use by J.P. Morgan Chase. Use of this unpublished work for any purpose other than the intended application is strongly discouraged. Disclosure or reproduction of any of the information contained within these documents without the written consent of the owner is strictly prohibited.

SYT.	BY:	Designation:	REV.	DATE	DESCRIPTION	BY:	APR.
1	TR	LIF-WBO-16	1				
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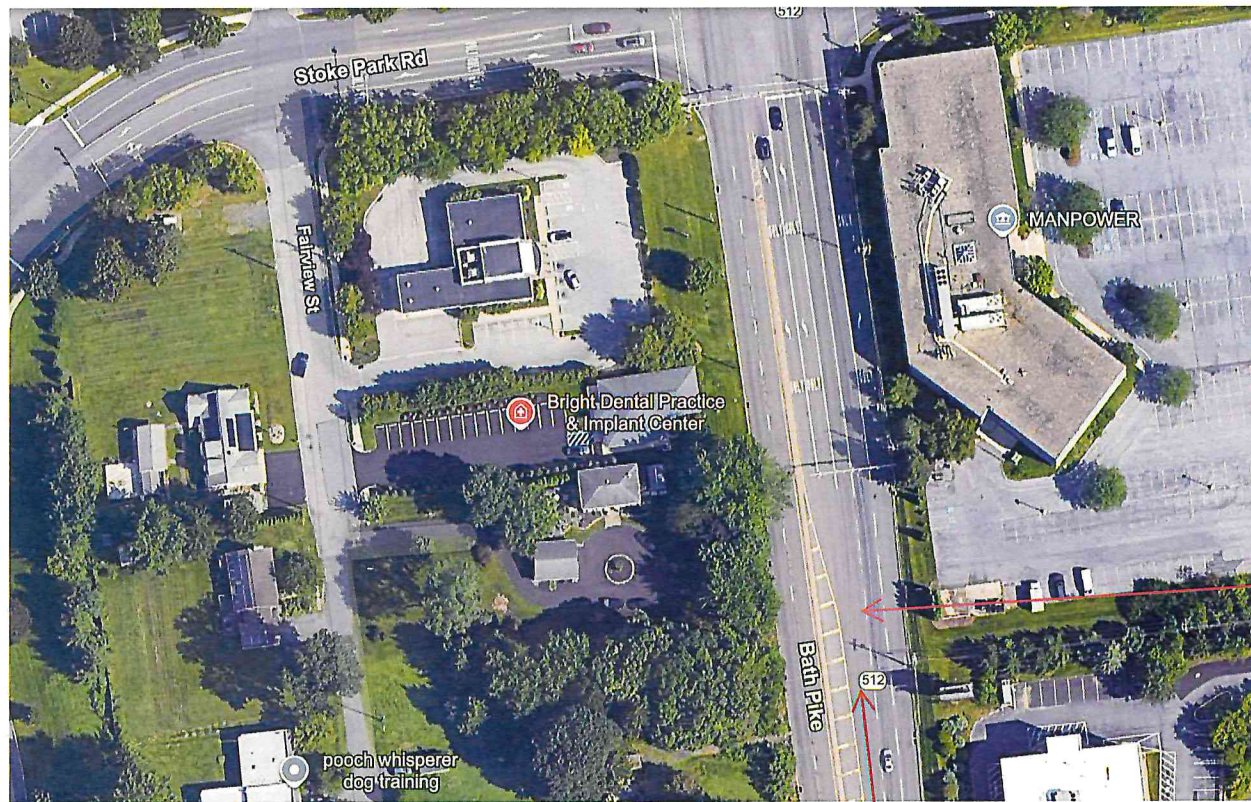
GRAPHICS DEPICTED ARE FOR
ILLUSTRATIVE PURPOSES ONLY!
USE ONLY APPROVED ARTWORK
FOR PRODUCTION.

PREVIOUS TD BANK SIGNAGE



EXISTING NEIGHBORING PNC SIGNAGE



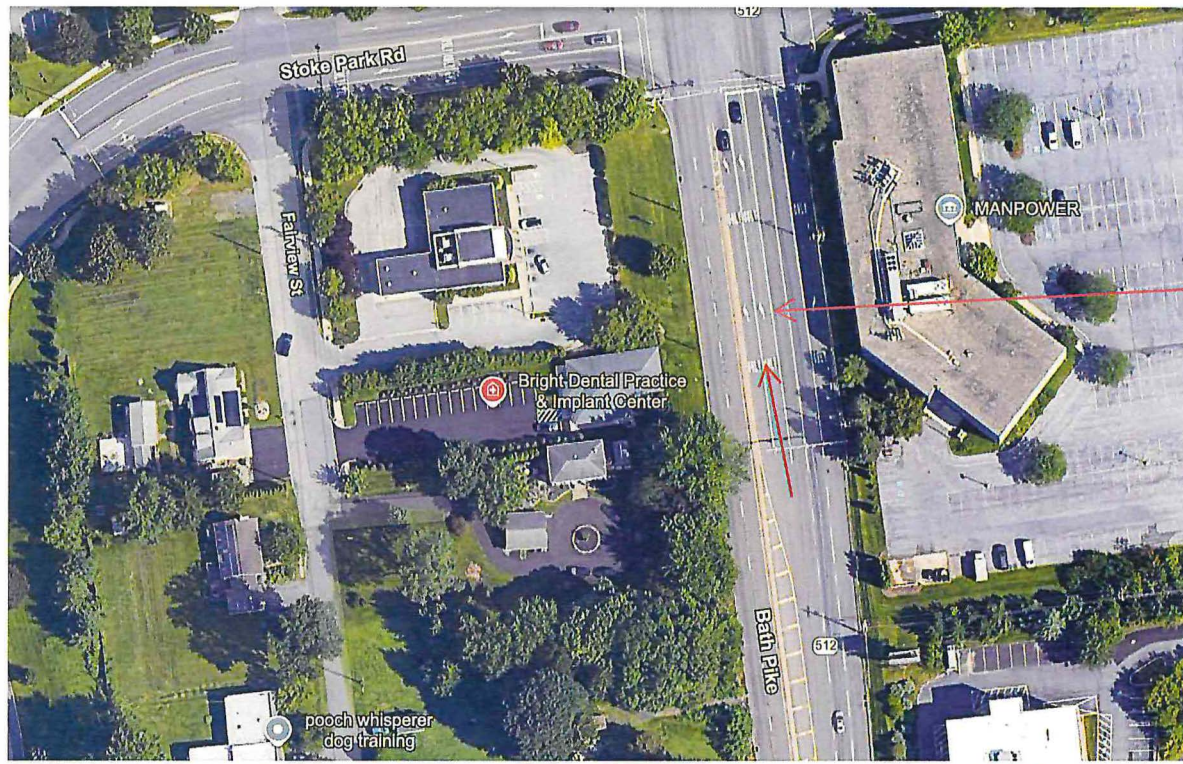


The image below is taken in this proximity and there is no visibility to the sign and/or the building.

DRIVING NORTH ON BATH PIKE APPROACHING BANK

Existing pylon reface covered by trees when driving North on Bath Pike approaching the branch. You need time to get into the (2) left turn lanes and with the speed limit at 40mph. the monument option would give us the visibility needed to safely proceed to the left turn lanes



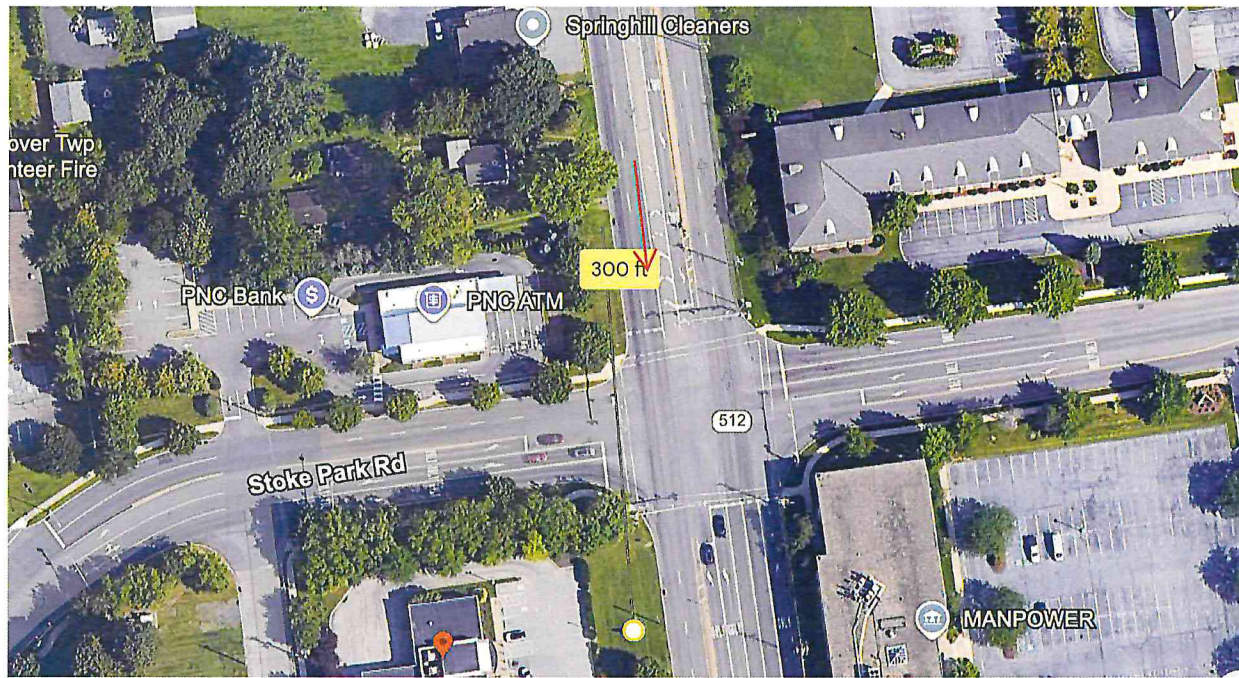


The image below is taken from right in front of these left turn arrows and there is still no visibility of the ground sign

DRIVING NORTH ON BATH PIKE APPROACHING BANK

Existing pylon panel not visible





DRIVING SOUTH ON BATH PIKE APPROACHING BANK



This image is approximately 300' from the sign and the existing sign is covered by trees.



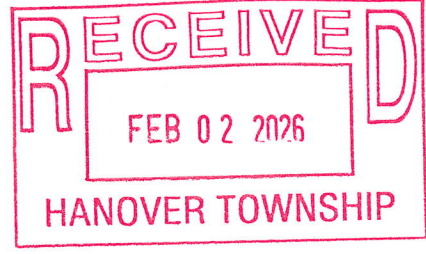
SITE

VICINITY MAP

MAP LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- FENCE
- EXIST. BUILDING FOOTPRINT & DOORWAY AT GROUND LEVEL
- EXIST. SPOT ELEVATION
- EXIST. TOP OF CURB ELEVATION
- EXIST. GUTTER ELEVATION
- EXIST. TOP OF WALL ELEVATION
- EXIST. BOTTOM OF WALL ELEVATION
- DOOR SILL ELEVATION
- APPROX. LOCATION U.G. WATER LINE & SIZE PER UTILITY MARKOUT & REFERENCE MAPPING
- APPROX. LOCATION U.G. GAS LINE PER UTILITY MARKOUT & REFERENCE MAPPING
- APPROX. LOCATION U.G. ELECTRIC LINE PER UTILITY MARKOUT & REFERENCE MAPPING
- APPROX. LOCATION U.G. TELEPHONE LINE PER UTILITY MARKOUT & REFERENCE MAPPING
- APPROX. LOCATION U.G. SEWER LINE PER UTILITY MARKOUT & REFERENCE MAPPING
- OVERHEAD WIRES
- AREA LIGHT
- UTILITY POLE
- UTILITY POLE/LIGHT POLE/STREET LIGHT
- GUY WIRE
- TRAFFIC SIGNAL POLE
- STREET LIGHT
- INLET
- MANHOLE
- SIGN
- HYDRANT
- WATER VALVE
- GAS VALVE
- GAS BOX
- GAS METER
- ELECTRIC METER
- BOLLARD
- PARKING SPACE COUNT
- TRAFFIC FLOW ARROWS
- DETECTABLE WARNING PAD
- CLEANOUT
- 24" DENOTES TREE & TRUNK DIAMETER
- 1.0' DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL, RELATIVE TO PROPERTY LINE

- NOTES:
- PROPERTY KNOWN AND DESIGNATED AS BLOCK 2, LOT 2 ON THE OFFICIAL TAX MAP FOR THE TOWN OF HANOVER, NORTHAMPTON COUNTY, PENNSYLVANIA.
 - AREA: 46,750 S.F. OR 1.0732 AC.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
 - ADDITIONALLY, ON SITE UTILITIES WERE MARKED OUT BY GPRS, 5217 MONROE STREET, TOLEDO, OH, 43623 ON 04/25/2025, WORK AUTH. NO. 776197.
 - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT AND IS SUBJECT TO THE COVENANTS, RESTRICTIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - ELEVATIONS ARE BASED UPON NAVD 88 (BENCHMARKXXX)
 - BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 420502242E, EFFECTIVE DATE: 7/16/2014, OBTAINED FROM FEMA NFHL WEB SERVICE ON 5/01/2025.
 - THE LOCATION AND EXTENTS OF UNDERGROUND TANKS AND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.



ABBREVIATIONS

- A.L. AREA LIGHT
- BOL. BOLLARD
- B.P. BRICK PAVEMENT
- C.C. CONCRETE CURB
- CO. CLEANOUT
- COL. COLUMN
- CONC. CONCRETE
- C.W. CONCRETE WALK
- C.W.S. CONCRETE WHEEL STOP
- D.C. DEPRESSED CURB
- D.W.L. DASHED WHITE LINE
- D.Y.L. DOUBLE YELLOW LINE
- E.M. ELECTRIC METER
- E.O.P. EDGE OF PAVEMENT
- G.M. GAS METER
- GR. GRATE
- G.W. GUY WIRE
- H.D. HYDRANT
- H.V. INVERT
- L.S.A. LANDSCAPED AREA
- MANH. MANHOLE
- N.P. NO PIPES VISIBLE
- S.B. STOP BAR
- S.L. STREET LIGHT
- S.W.L. SOLID WHITE LINE
- S.Y.L. SOLID YELLOW LINE
- TRANS. TRANSFORMER
- T.S. TRAFFIC SIGNAL
- T.S.C. TRAFFIC SIGNAL COVER
- TYP. TYPICAL
- UP. UTILITY POLE
- UPP. UTILITY POLE/LIGHT POLE
- WL. WHITE LINE
- WS. WHITE STRIPING
- YS. YELLOW STRIPING



CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
20251211921-000
1-800-242-1776

UTILITY COMPANY
CROWN CASTLE
BETHLEHEM CITY
UIGI LEHIGH HAZ
FPL ELEC LEIGH
SVC ELEC CATHY
HANOVER TWP NC
ZAYO TWP/ABINET
ASTOUND BB
VERIZON EASTERN

NOT ALL UTILITY COMPANIES RESPONDED TO THE MARKOUT REQUEST

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

BOUNDARY & TOPOGRAPHIC SURVEY
TAX PARCEL M6SW2-2-2
BLOCK 2, LOT 2
3760 FAIRVIEW STREET
BETHLEHEM, TOWNSHIP OF HANOVER
COUNTY OF NORTHAMPTON
COMMONWEALTH OF PENNSYLVANIA



2855 U.S. ROUTE 1
NORTH BRUNSWICK, NJ 08902
TELE: 732-422-6700
FAX: 732-940-8788
www.gallasurvey.com

DATE	SCALE	DRAWN	CHECKED
XX-XX-XXXX	1"=20'	R.S.E.	D.A.H.
FIELD DATE	FIELD BOOK	PAGE	FIELD CREW
5-05-2025	226	68	D.A.W.B.
FILE NO.	DRAWING NAME/SHEET NO.		
G25066	G25066.DWG	1 OF 1	

PRELIMINARY

DAVID A. HINSON

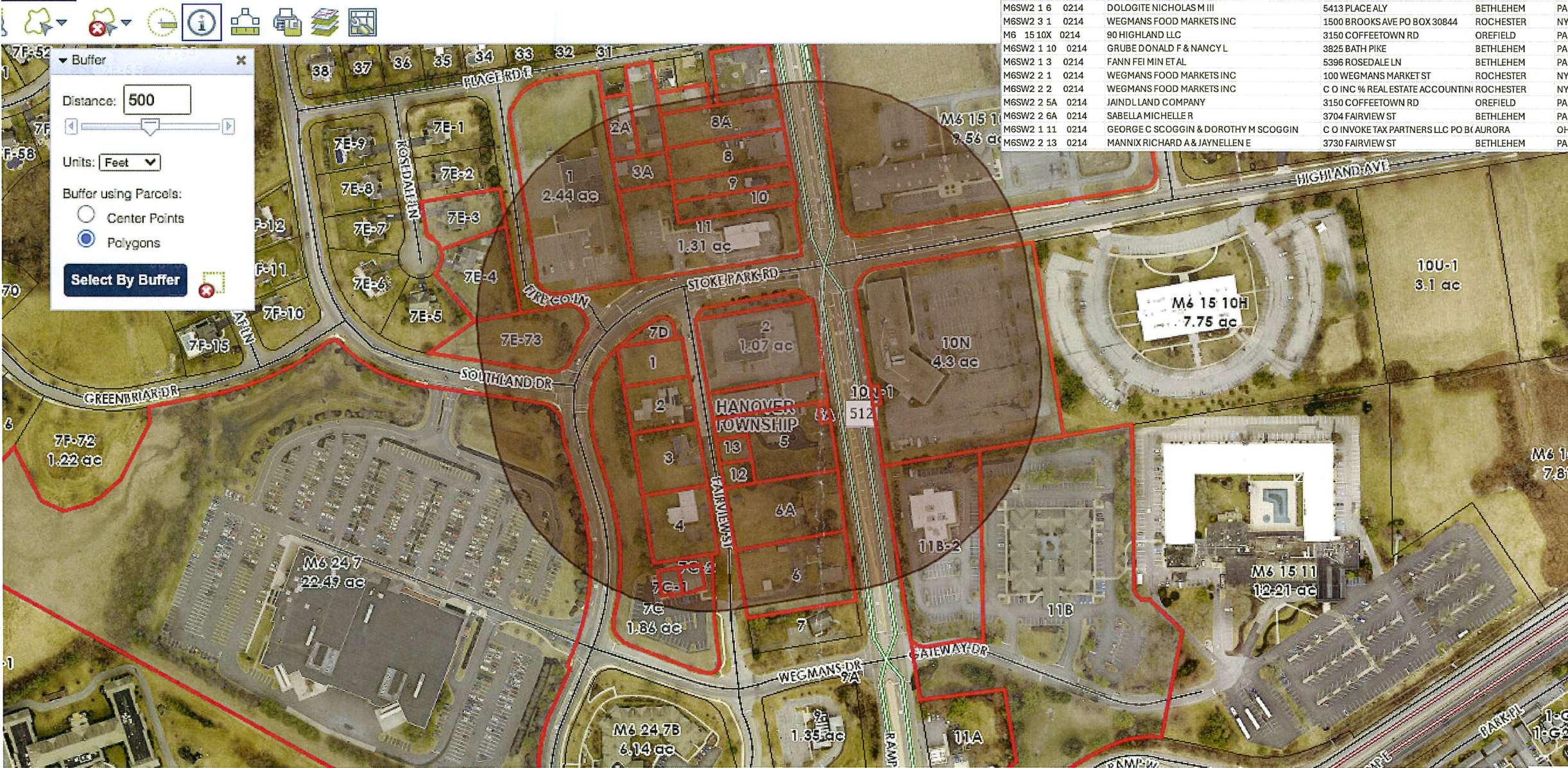
PENNSYLVANIA PROFESSIONAL LAND SURVEYOR #SU-07554

DATE

500' Radius Map with names and mailing address of property owners



parid	owner 1	mailing address	city name	state	zip code
M6 247C-1 0214	APPLE TREE HILL LLC	2441 WEYHILL DR	CENTER VALLEY	PA	18034-
M6 15 10N 0214	DLP LEHIGH VALLEY BUILDING LLC	95 HIGHLAND AVE STE 300	BETHLEHEM	PA	18017-9452
M6 15 11B 0214	EASTUPLAND ASSOCIATES	3332 BINGEN RD	BETHLEHEM	PA	18015-
M6 247C 0214	APPLE TREE HILL LLC	2441 WEYHILL DR	CENTER VALLEY	PA	18034-
M6 247D 0214	WEGMANS FOOD MARKETS INC	PO BOX 30844	ROCHESTER	NY	14603-0844
M6SW2 2 12 0214	SV PROPERTIES MANAGEMENT LLC	119 LOWER WAY RD	EASTON	PA	18045-8037
M6SW2 2 4 0214	BRIGHT DENTAL PROPERTY LLC	5635 FALCON DR	BETHLEHEM	PA	18017-8217
M6 15 10N-1 0214	JAINDL LAND COMPANY	3150 COFFEETOWN RD	OREFIELD	PA	18069-2511
M6 15 11B-2 0214	RED BIRD ASSOCIATES LLC	C O NAI SUMMIT 1620 POND RD STE	ALLENTOWN	PA	18104-
M6 247E-73 0214E	HANOVER CROSSING COMMUNITY ASSOCIATION	975 EASTON RD STE 202	WARRINGTON	PA	18976-1967
M6SW2 1 2A 0214	FANN FEI MIN ET AL	5396 ROSEDALE LN	BETHLEHEM	PA	18017-9079
M6SW2 1 7 0214	NEGRAO JOSEPH CHARLES	167 BUTZTOWN RD	BETHLEHEM	PA	18020-9632
M6SW2 1 8A 0214	ZIETTS MICHAEL SR & ELIZABETH	3845 BATH PIKE	BETHLEHEM	PA	18017-9007
M6SW2 1 9 0214	GRUBE DONALD F & NANCY L	3825 BATH PIKE	BETHLEHEM	PA	18017-
M6SW2 3 4 0214	SV PROPERTIES MANAGEMENT LLC	119 LOWER WAY RD	EASTON	PA	18045-8037
M6 247E-3 0214	BABELONIA ERNIE &	5388 ROSEDALE LN	BETHLEHEM	PA	18017-9161
M6 247E-4 0214	MORA ELVIA M	5384 ROSEDALE LN	BETHLEHEM	PA	18017-9079
M6SW2 1 3A 0214	FANN FEI MIN ET AL	5396 ROSEDALE LN	BETHLEHEM	PA	18017-9079
M6SW2 1 8 0214	CZM II LLC	3329 CARL DR	WHITEHALL	PA	18052-
M6SW2 1 1 0214E	HANOVER TOWNSHIP VOLUNTEER FIRE COMPANY	100 STOKES PARK RD	BETHLEHEM	PA	18017-9415
M6SW2 2 5 0214	MANNIX RICHARD A & JAYNELLEN	3730 FAIRVIEW ST	BETHLEHEM	PA	18017-
M6SW2 2 6 0214	KOEHLER PRESTON ET AL	3670 FAIRVIEW ST	BETHLEHEM	PA	18017-
M6SW2 3 2 0214	SOMMERS GERALD G & SANDRA L	3739 FAIRVIEW AVE RR 8	BETHLEHEM	PA	18017-
M6SW2 3 3 0214	KEPNER GARY	3719 FAIRVIEW STREET	BETHLEHEM	PA	18017-
M6 247 0214	WEGMANS FOOD MARKETS INC	PO BOX 30844	ROCHESTER	NY	14603-0844
M6 247C-2 0214	WOODFIELD PARTNERS LLC	4000 WEGMANS DR UNIT 200	BETHLEHEM	PA	18017-9223
M6SW2 1 6 0214	DOLOGITE NICHOLAS M III	5413 PLACE ALY	BETHLEHEM	PA	18017-9031
M6SW2 3 1 0214	WEGMANS FOOD MARKETS INC	1500 BROOKS AVE PO BOX 30844	ROCHESTER	NY	14603-0844
M6 15 10X 0214	90 HIGHLAND LLC	3150 COFFEETOWN RD	OREFIELD	PA	18069-2511
M6SW2 1 10 0214	GRUBE DONALD F & NANCY L	3825 BATH PIKE	BETHLEHEM	PA	18017-
M6SW2 1 3 0214	FANN FEI MIN ET AL	5396 ROSEDALE LN	BETHLEHEM	PA	18017-9079
M6SW2 2 1 0214	WEGMANS FOOD MARKETS INC	100 WEGMANS MARKET ST	ROCHESTER	NY	14624-
M6SW2 2 2 0214	WEGMANS FOOD MARKETS INC	C O INC % REAL ESTATE ACCOUNTING	ROCHESTER	NY	14624-
M6SW2 2 5A 0214	JAINDL LAND COMPANY	3150 COFFEETOWN RD	OREFIELD	PA	18069-2511
M6SW2 2 6A 0214	SABELLA MICHELLE R	3704 FAIRVIEW ST	BETHLEHEM	PA	18017-9419
M6SW2 1 11 0214	GEORGE C SCOGGIN & DOROTHY M SCOGGIN	C O INVOKE TAX PARTNERS LLC PO B	AURORA	OH	44202-
M6SW2 2 13 0214	MANNIX RICHARD A & JAYNELLEN E	3730 FAIRVIEW ST	BETHLEHEM	PA	18017-9419



RECEIVED
FEB 02 2026
HANOVER TOWNSHIP

1110 American Parkway
Building 10, Suite F-200B
Allentown, PA 18109
Main: 610-868-4201



Via Email
October 22, 2025

Hanover Township – Northampton County
3630 Jacksonville Road, Bethlehem, PA 18017

Attention: Kimberly Lymanstall, Township Secretary/Assistant Treasurer

Reference: Northgate 1: 2 Lot Subdivision, Northgate 1: Land Development, Northgate 1: Lot Consolidation Plan, 4000 – 4030 Airport Road Lot Consolidation & Land Development Plan

CED #: 21007876A

Subject: Municipalities Planning Code (MPC) Time Extension

Dear Ms. Lymanstall,

On behalf of the Applicant, 4300 Airport Road, LLC, we are providing a MPC extension for the following items:

- Northgate 1- 2-lot Subdivision – Improvements Deadline (H05-61)
- Northgate 1 Land Development – MPC Deadline (H06-46)
- Northgate 1 Lot Consolidation Plan – Record Plans Conditions Deadline (H06-49)
- 4000 – 4030 Airport Road Plan Recording

The extensions are granted up to and including October 31, 2026.

If you have any questions or need additional information, please do not hesitate to contact me at 484-547-0207 (direct office) or david.wilson@collierseng.com.

Sincerely,
Colliers Engineering & Design, Inc.

A handwritten signature in blue ink that reads "David F. Wilson".

David F. Wilson, P.E., CPESC
Associate / Geographic Discipline Lead

DFW:bjr

R:\Projects\2021\21007876A\Correspondence\OUT\251022_Hanover Township_Extension Request\251022_Hanover Township_ 4000-4030 Airport Rd MPC Time Extension.docx





- LEGEND - EXISTING FEATURES**
- MS4 OUTFALL
 - ENDWALL
 - HEADWALL
 - INLET
 - MANHOLE
 - OUTLET STRUCTURE
 - ASBUILT SANITARY MANHOLES
 - ASBUILT SANITARY PIPES
 - PIPE (DIRECTION)
 - SWALE
 - STREAM
 - 2M LIDAR CONTOUR
 - STORMWATER BASIN
 - Proposed_BMP_Watershed2023
 - WATERBODY
 - WATERSHED AREA
 - MUNICIPAL BOUNDARY
 - PARCEL BOUNDARY (NOT VERIFIED)

- LEGEND - PROPOSED FEATURES**
- PROPOSED MANHOLE
 - PROPOSED INLET
 - PROPOSED STORMWATER PIPE
 - PROPOSED VERTICAL CURB

PROPOSED IMPROVEMENTS

STAFORE ESTATES STORM SEWER EXTENSION

HANOVER TOWNSHIP	DESIGNED BY JAP	PROJECT NO H24-22
NORTHAMPTON COUNTY	CHECKED BY JAP	SHEET NO 1 OF 1
PENNSYLVANIA	DATE 10/04/2023	
	SCALE 1" = 50' HOR 1" = 10' VERT	

HanoverEngineering

252 Broadhead Road, Suite 100
Bethlehem, PA 18017-8944
610.691.5644
Fax 610.691.8968