



BOARD OF SUPERVISORS
Zoning & Code Enforcement
Hanover Township Northampton County
3630 Jacksonville Road
Bethlehem, Pennsylvania 18017-9302
610.866.1140
Fax 610.758.9116

February 2, 2026

To: Board of Supervisors
 Mark Hudson
 Kimberly Lymanstall
 Barbara Baldo
 Brian Dillman
 Jesse Chupella
 Matthew J Deschler, Esquire
 Jim Broughal, Esquire
 Brien Kocher, HEA

RE: Zoning Petition: 26ZHB02
 Applicant: JPMorgan Chase Bank, N.A
 Property location: 3760 Fairview St
 Zoning District: LBD (Limited Business District)

Enclosed is a copy of the application received February 2, 2026, requesting a variance for the maximum allowed sizes of a monument sign and wall mounted sign.

The next meeting is tentatively scheduled 7:00 PM Thursday, February 26 2026. Notice of Hearing to follow.

Tracy Laisser



MEMO

Date: 1/30/26

To: Tracey Luisse

Hanover Township Northampton Country
3630 Jacksonville Road
Bethlehem, PA 18017
610-866-1140 ext 236

From: Philadelphia Sign Co

Eric Metzger

Re: Variance Application for Chase Bank
3760 Fairview St, Bethlehem, PA 18017

Good afternoon- In the package you will find the 22 copies of the completed variance package for the proposed signage that the Chase Bank would like to present our case to the planning/zoning board. If you could please review the completed applications and if there is anything else that may be needed, please let me know.

Sincerely;

Eric Metzger

Sr. Project Manager

856-701-7324

emetzger@pscossigngroup.com

FAIN
FEB 02 2026
BY: DU \$1,000 #193103





HANOVER TOWNSHIP, Northampton County
3630 Jacksonville Rd, Bethlehem PA 18017
Phone 610-866-1140 Fax 610-758-9116

PETITION

NOTICE: This Petition, in order to be acted upon by the Zoning Hearing Board must be fully completed in accordance with the "instructions to applicant." Failure to do so will result in a denial of the Petition without refund of your filing fee.

Application is made this 28th day of January, 20 26

I. PROPERTY INFORMATION (*location and existing conditions for which a special permit is being applied*):

1. Address of property for which a special permit is requested: _____
3760 Fairview St Bethlehem Fairview, PA 18017
2. Tax Parcel No.: M6SW222 22 0214
3. Current Zoning Classification: Commercial
4. The Dimension of the land area are: 1.0732
5. The real estate contains 46748.592 square feet.
6. The real estate in question is presently classified under the Hanover Township Zoning Ordinance as:
Commercial
(a) The real estate is presently used for the purpose of: retail bank

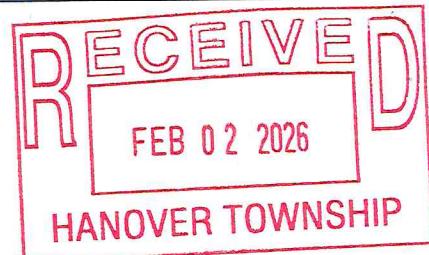
(b) and contains buildings and other improvements consisting of (if real estate is vacant land, so note):
bank branch building and associated improvements

II. OWNER INFORMATION

1. Owner of property: Wegmans Food Markets, Inc. Telephone N/A
(all parties to the title must be listed, attach additional page if needed)
Address PO Box 24470
Rochester, NY 14624

III. APPLICANT INFORMATION (*herein after known as the "Petitioner"*)

1. Applicant ("Petitioner(s)") JPMorgan Chase Bank, N.A. Telephone +1-614-248-3128
(all parties must be listed, attach additional page if needed)
Address 1111 Polaris Parkway
Columbus OH 43240
2. Petitioner is the (check one or more)
 Owner Occupant Agent for: N/A Other: Equitable Owner
3. Attorney representing Petitioner(S): Robert M. Careless, Telephone (215) 665-4798
Address One Liberty Place, 1650 Market Street, Suite 2800, Philadelphia, PA 19103
4. Petitioner: (check appropriate action)
 Hereby appeals from the decision of the Zoning Administrator, or other township Official; or
 Hereby applies for a special exception or permit, or variance, from the terms of the Zoning Ordinance; or
 Hereby applies for: N/A
N/A
5. Petitioner appeals or makes application from the order, requirement, decision or determination of the Zoning Administrator or other Township Official made on N/A, 20 N/A, which was as follows: (quote, or if insufficient space, attach additional page). N/A
N/A



6. Petitioner claims that the variance, exception, or other relief should be granted as herein requested under the following sections of the Hanover Township Zoning Ordinance. (cite all sections supporting your position, or relevant to the consideration of your Petition) see attachment

7. The variance or exception requested and the new improvements desired to be made as follows:

(a) Building(s) to be erected: N/A - no buildings to be erected; see attachment

(b) Building(s) to be changed: Signage - see attachment

(c) Building(s) to be used for: see attachment

8. The plot plan, drawings, sketches and other exhibits attached hereto are made a part hereof. Please include 22 copies of the petition and all these attachments. - N/A

9. Petitioner believes that the exceptions, variance, Conditional Use or other relief requested should be granted for the following reasons: (attach additional sheet if necessary) see attachment

10. Petitioner agrees to comply with all provisions of the Hanover Township Zoning Ordinance and is aware that the Ordinance provides for penalties for violations of its provisions.

11. The Petitioner further acknowledges that the Board does not have to consider any application until all information requested by the Board of Supervisors is submitted by said applicant, and that in the event this information is not submitted in full within twenty (20) days from the date of the initial Board of Supervisors Hearing, then the Board may deny such application, with or without prejudice to the applicant.

12. Wherever additional information is requested by the Zoning Hearing Board, and leave to submit additional information is specifically granted by the chairman of the Zoning Hearing Board, then in consideration of the Board's forbearance in not refusing the application at the conclusion of the hearing, the Petitioner agrees to extend the time for consideration of the application by the Zoning Board for the number of days after the date of decision specified in any Ordinance of the Township, by the same number of days which the Zoning Hearing Board's consideration of the Petition was delayed by failure on the part of Petitioner to submit additional information requested.

NOTE: All Petitioners must sign
at least one must sign in the
presence of a person capable
of administering an oath (see below)

Petitioner Todd Samms, VP of JPMorgan Chase Bank, N.A.
(*AKA TODD K SAMMS*)
(SEAL)

(SEAL)

(SEAL)

(SEAL)

(SEAL)

NOTE: The following affidavit must be taken before a Notary Public or other appropriate official by one of the Petitioners.



FOR INDIVIDUAL PETITIONERS:

COMMONWEALTH OF PENNSYLVANIA

)

) ss:

COUNTY OF N/A

)

ON THIS, the N/A day of N/A, 20N/A, before me, N/A

N/A

the undersigned officer,

personally appeared, N/A, known to me (or satisfactorily proven) to be the person whose name (is)(are) subscribed to the within instrument, and acknowledged that he executed the same for the purposes therein.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

N/A _____ (SEAL)

Signature of the Petitioner taking affidavit

Sworn to and subscribed before me

This N/A day of N/A 20 N/A

N/A

NOTARY PUBLIC

FOR CORPORATE PETITIONERS:

COMMONWEALTH OF PENNSYLVANIA *Ohio*

)

COUNTY OF Franklin

)

ON THIS, the 28th day of January, 2026, before me, Todd Samms,
VP of JPMorgan Chase Bank, N.A. the undersigned officer,
personally appeared, Todd K Samms,
who acknowledged self to be the Vice President of
JPMorgan Chase Bank, N.A., a corporation, and that he as such OFFICER being
authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the
corporation by self as VICE PRESIDENT.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Todd K Samms _____ (SEAL)

Signature of the Petitioner taking affidavit
Todds Samms, VP of JPMorgan Chase Bank, N.A.

(aka Todd K Samms)

Sworn to and subscribed before me

This 28th day of Jan 2026

Munawwer Khan

NOTARY PUBLIC



MUNAWWER A KHAN
Notary Public
State of Ohio
My Comm. Expires
August 21, 2027



JPMorgan Chase Bank, N.A.
3760 Fairview Street
Tax Parcel No. M6SW22
Hanover Township Zoning Hearing Board



Attachment to Application

This Application is submitted to the Hanover Township Zoning Hearing Board ("ZHB") by JPMorgan Chase Bank, N.A. ("Chase") in connection with proposed signage for the property located at 3760 Fairview Street (the "Property"). The Property is owned by Wegmans Food Markets, Inc. ("Wegmans"). Chase is the equitable owner of the Property and, pursuant to the Agreement of Sale with Wegmans dated September 8, 2025 (as amended) and the Pennsylvania Municipalities Planning Code, 53 P.S. § 10101 *et seq.*, has standing to submit this Application. The cover, first, and signature pages of the Agreement of Sale are attached hereto as **Exhibit A**.

The Property is located at the signalized intersection of Bath Pike and Stoke Park Road, with additional frontage along Fairview Street, within the Limited Business Zoning District ("LBD"). The LBD is designated as an "Employment District" under the Township Zoning Ordinance. The Property is improved with an existing bank branch building (formerly occupied by TD Bank). The existing and proposed continued use of the Property as a retail bank is permitted by right pursuant to Section 185-37.B(3) of the Zoning Ordinance.

Section 185-19.D(3) of the Zoning Ordinance governs signage within the LBD and limits the Property to:

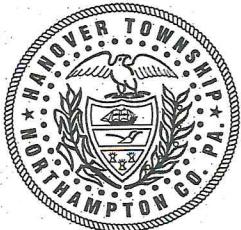
- one freestanding sign with a maximum sign area of 30 square feet total (i.e., 15 square feet per side); and
- one wall-mounted business sign consisting of individual letters not exceeding eight (8) inches in height and a total sign area of 16 square feet. The wall sign is further limited to a maximum height of ten (10) feet above grade and must be located on or near the main entrance.

Chase requests variances from: (1) Section 185-19.B(4)(b) to permit the installation of a new freestanding sign containing 59 square feet of total sign area (29.5 square feet per side); and (2) Section 185-19.D(3)(c) to permit a wall-mounted sign located 12 feet above grade with a total sign area of 16 square feet and letter height of sixteen (16) inches. Chase's proposed signage package, prepared by Philadelphia Sign Company, is attached hereto as **Exhibit B**.

The variances requested by Chase are dimensional in nature. Under Pennsylvania law, a dimensional variance involves a request to adjust zoning regulations to use the property in a manner consistent with regulations; by contrast, a use variance involves a request to use property in a manner that is wholly outside zoning regulations. *Hertzberg v. Zoning Bd. of Adjustment of the City of Pittsburgh*, 721 A.2d 43, 47 (Pa., 1998). In *Hertzberg*, the Pennsylvania Supreme Court established a relaxed standard for the grant of dimensional variances. Multiple factors may be considered, including "the cost of the strict compliance with the zoning ordinance, the economic hardship that will result from denial of a variance, and the characteristics and conditions of the surrounding neighborhood." *Id.* at 50. In *Gallagher v. Zoning Hearing Bd. of*

Haverford Twp., the Commonwealth Court affirmed the grant of a dimensional variance for signage by highlighting the commercial nature of the surrounding area of the subject property, the subject property's frontage along a busy road in the township, and the presence of larger commercial signs across the street from the subject property. *Gallagher v. Zoning Hearing Bd. of Haverford Twp.*, 1788 C.D. 2012, 2013 WL 3984751, at 10 (Pa.Cmwlth. May 21, 2013) (unreported).

Consistent with this authority, Chase respectfully submits that the requested relief should be granted. The Property is located in a predominantly commercial corridor and along major roads in the Township. Nearby properties are improved with more prominent signage, including nearby bank signage (e.g., PNC Bank). Granting the requested dimensional relief will not alter the essential character of the neighborhood and will promote the health, safety, and general welfare by improving the visibility and legibility of the signage for motorists traveling through this area, thereby enhancing safe navigation and wayfinding.



BOARD OF SUPERVISORS
Zoning & Code Enforcement
Hanover Township Northampton County
3630 Jacksonville Road
Bethlehem, Pennsylvania 18017-9302
610.866.1140
Fax 610.758.9116

January 14, 2026

Eric Metzger
Philadelphia Sign Co
707 West Spring Garden St
Palmyra, NJ 08065

RE: Building Sign – Permit Denial

Dear Mr. Metzger,

We received a Zoning and Building permit application for a (1) wall mounted sign and (1) monument sign for Chase Bank located at 3760 Fairview St, Bethlehem, PA on January 13, 2026. The application has been reviewed for compliance with Hanover Township Zoning Ordinance §185-19 Sign Regulations; the proposed wall mounted sign exceeds the maximum allowable square footage of 16 square feet for allowable building signs. The monument sign exceeds the maximum allowable square footage of 50 square feet.

Therefore, your application for a wall mounted and monument signs is hereby denied. Please be advised you are permitted one wall mounted sign having a maximum of 16 square feet and one monument sign meeting the following sign provisions of the Ordinance as noted below.

185-19 Sign Regulations

B. (4) Other Requirements

(c) Both sides of a two-sided sign count toward the total maximum allowable sign coverage.

D.(3) Employment Districts

(b) An industrial park, business park (or office and institutional area) developed according to a unified site plan shall be permitted only one identification sign not to exceed 50 square feet in area.

(c) Individual uses shall be permitted only one wall-mounted business sign consisting of letters not to exceed 16 square feet in area and meeting the following criteria:

- [1] Letters to be a maximum of eight inches high.
- [2] Letters to be located four feet to 10 feet above grade.
- [3] Located on the user's door or near the user's door.
- [4] All mounted signs for one building shall be similar to one another.

Consider this letter as rejection of your application in accordance with Section 185-26 of the Hanover Township Zoning Ordinance.

You have the right to appeal my decision to the Zoning Hearing Board in thirty (30) days.

Should you have any questions, please feel free to contact me.

Sincerely,

Tracy Luisser

Tracy Luisser, BCO/Zoning Officer
Hanover Township Northampton County



EXHIBIT “A”



AGREEMENT OF SALE

Between

WEGMANS FOOD MARKETS, INC.

Seller

and

JPMORGAN CHASE BANK, N.A.

Purchaser

Dated: September 8, 2025

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SCHEDULE OF EXHIBITS

Exhibit 1.1	Legal Description
Exhibit 1.2	Seller's Monument Sign
Exhibit 1.3	Wegmans Parcel
Exhibit 5.2	Form of Deed
Exhibit 10.1.3	Entity Transfer Certification
Exhibit 10.1.5	Bill of Sale
Exhibit 10.1.6	Assignment and Assumption of Intangible Personal Property
Exhibit 10.1.7	Form of Sign Easement
Exhibit 10.1.8	Form of RC Agreement

With a required copy to:

Wegmans Food Markets, Inc.
Attention: Michelle Daubert
1500 Brooks Avenue, PO Box 30844
Rochester, NY 14603-0844
Email: Michelle.Daubert@wegmans.com

and

Troutman Pepper Locke LLP
Attention: Julia E. Tomec, Esquire
3000 Two Logan Square
Eighteenth and Arch Streets
Philadelphia, PA 19103
Email: Julia.Tomec@troutman.com

If to Purchaser:

JPMorgan Chase Bank, National Association
237 Park Avenue, 12th Floor
Mail Code: NY1-R060
New York, New York 10017-3140
Attn: Owned Property Administration

With required copies to:

JPMorgan Chase Bank, National Association
237 Park Avenue, 12th Floor
Mail Code: NY1-R060
New York, New York 10017-3140
Attn: Real Estate Strategic Plan Director

JPMorgan Chase Bank, National Association
Legal Department
1111 Polaris Parkway, Suite 4P
Mail Code OH1-0152
Columbus, Ohio 43240-2050
Attn: Real Estate Counsel

Cozen O'Connor
1650 Market Street, Suite 2800
Philadelphia, PA 19103
Attn: Elizabeth Kearney
E-mail: ekearney@cozen.com

or to such other address as either party may from time to time specify in writing to the other party.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date first written above.

SELLER:

WEGMANS FOOD MARKETS, INC.,
a New York corporation

By: *Paul J. Mager*
Name: *Paul J. Mager*
Title: *CPO*

PURCHASER:

JPMORGAN CHASE BANK, N.A.,
a national banking association

By: _____
Name: _____

With respect to Section 4 only:

ESCROW AGENT

CHICAGO TITLE INSURANCE COMPANY

By: _____
Name: _____
Its: _____
Title: _____

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date first written above.

SELLER:

WEGMANS FOOD MARKETS, INC.,
a New York corporation

By: _____
Name: _____
Title: _____

PURCHASER:

JPMORGAN CHASE BANK, N.A.,
a national banking association

By: _____
Name: _____



With respect to Section 4 only:

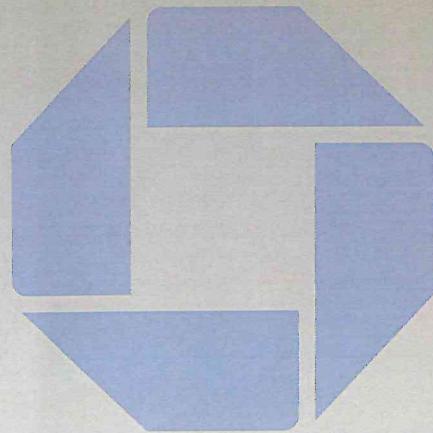
ESCROW AGENT

CHICAGO TITLE INSURANCE COMPANY

By: *Andrew Bramhall*
Name: Andrew Bramhall
Its: National Commercial Counsel
Title: _____

EXHIBIT “B”

CHS NB 1746
Bethlehem Fairview
3760 Fairview St
Bethlehem, PA 18017



R1 Permit
Drawing 122
25

PHILADELPHIA SIGN
BRINGING THE WORLD'S BRANDS TO LIFE



RECEIVED
FEB 02 2026
HANOVER TOWNSHIP

SITE PLAN

Exterior Scope of Work

G01 M-25 M-25 29. SF
 B01 LIF-WBO-16 16" illuminated channel letterset 16. SF



CHS.NB.1746 Bethlehem Fairview Ave



DESIGNER -

10125

DRAWING -

P PHILADELPHIASIGN
 BRINGING THE WORLD'S BRANDS TO LIFE
 707 WEST SPRING GARDEN ST • PALMITA, NJ • 08065
 P: 609-623-1400 • F: 609-623-6549 • WEB: <http://www.philadelphiasign.com>

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PYLON SIGNAGE-M-25



View Driving South on Bath Pike



View Driving North on Bath Pike



CHS.NB.1746 Bethlehem Fairview Ave

DESIGNER -

10125

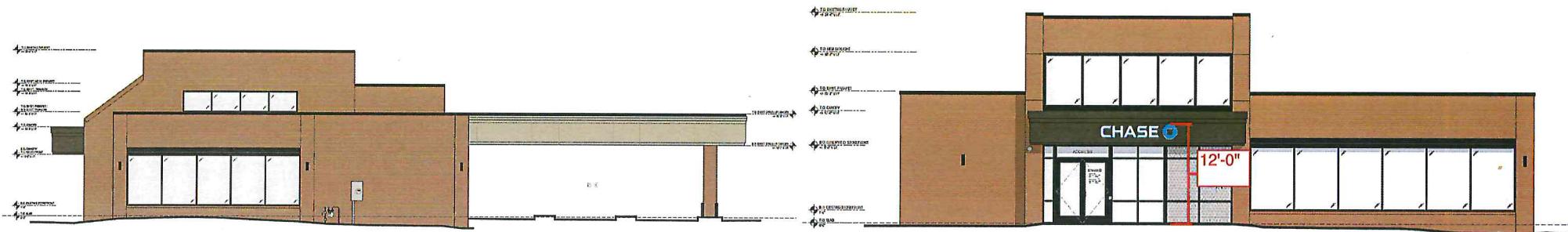
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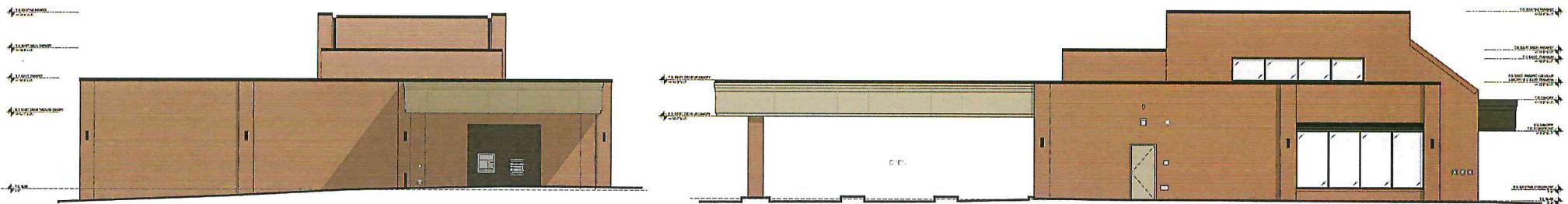
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ELEVATIONS



NORTH ELEVATION (STOKE PARK RD.)

EAST ELEVATION (BATH PIKE)



WEST ELEVATION (FAIRVIEW ST. / ATM)

SOUTH ELEVATION (PARKING/ADJACENT PROPERTY)



CHS.NB.1746 Bethlehem Fairview Ave

DESIGNER -

10125

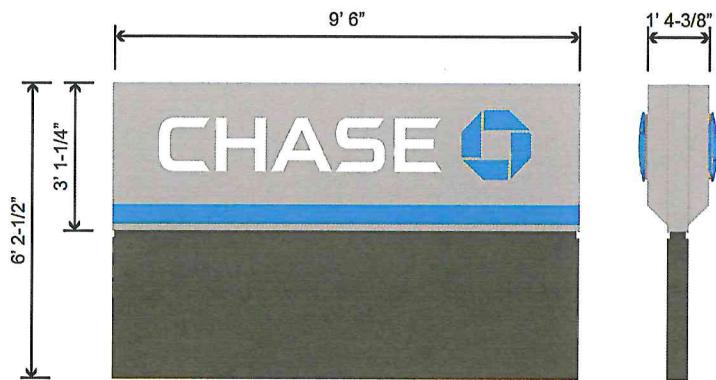
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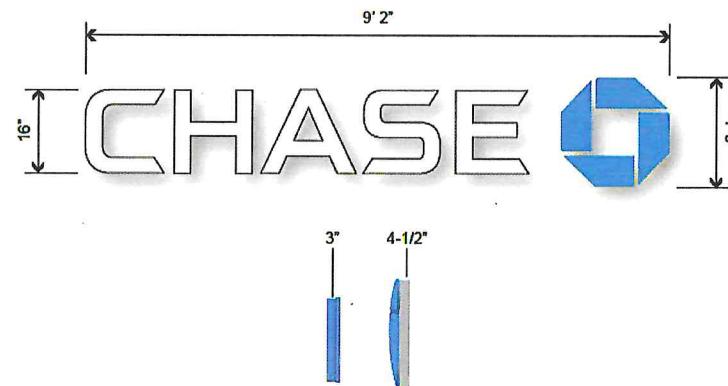
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SIGNAGE



G01 M-25
Double-Faced Illuminated Monument - 29.5 sf



B01,
LIF-WBO-16-LED White w/ Blue Octagon Illum Channel Letters 16.0 SF

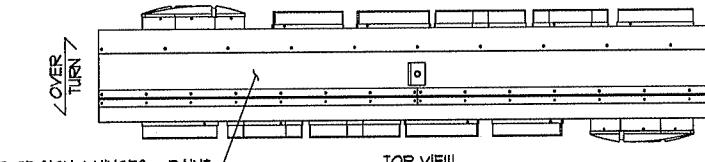


CHS.NB.1746 Bethlehem Fairview Ave

DESIGNER -
10125
DRAWING -

P PHILADELPHIASIGN
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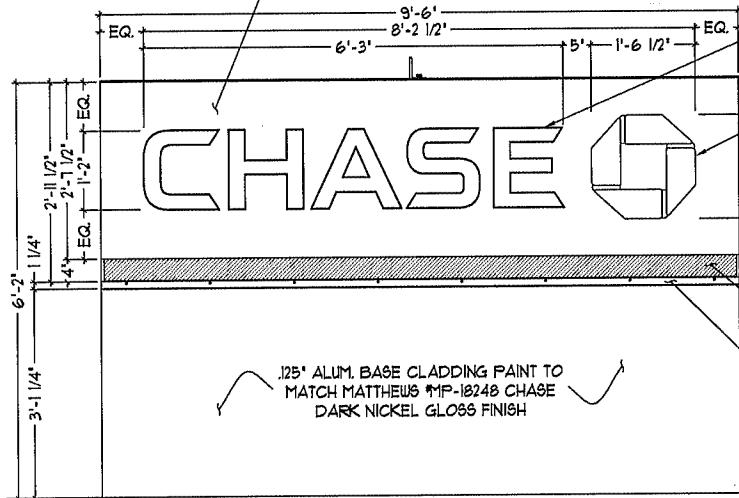
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COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.



TOP OF SIGN & HINGES - PAINT
TO MATCH MATTHEWS #MP-19891
CHASE NICKEL GLOSS FINISH

TOP VIEW

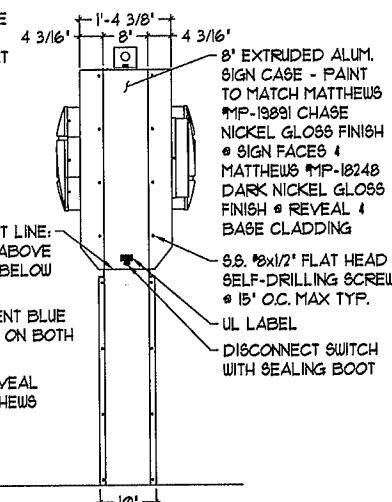
✓ .125" ALUM. FACE PANEL - PAINT
TO MATCH MATTHEWS MP-19891
CHASE NICKEL GLOSS FINISH



ELEVATION



ALL EXPOSED FASTENER HEADS
SHALL BE PAINTED TO MATCH
THE EXTERIOR CABINET FINISH



SIDE VIEW

CHASE

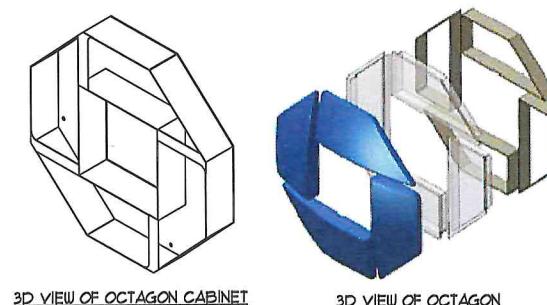
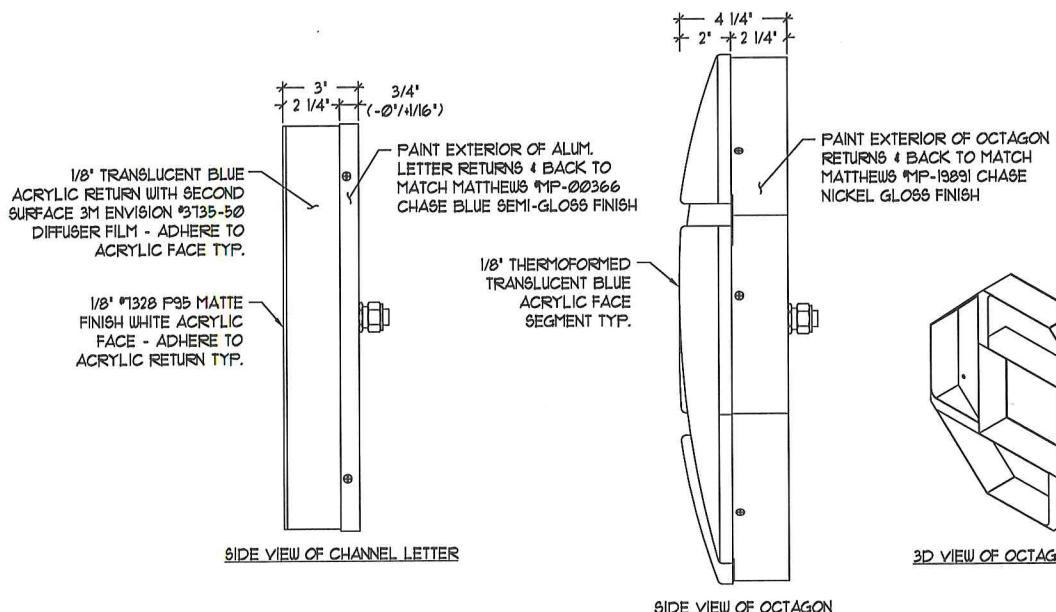
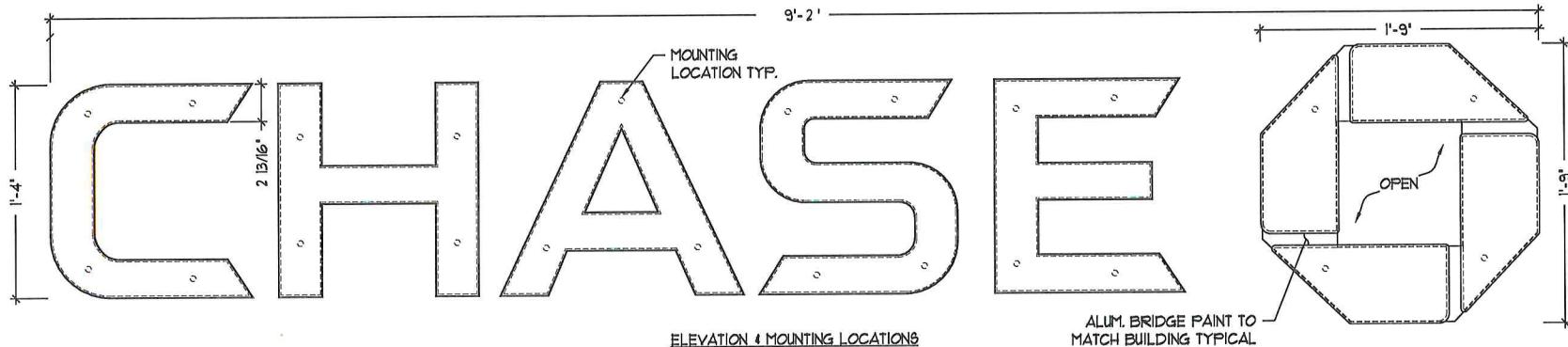
These documents represent prototypical design drawings created specifically for use by J.P. Morgan Chase. Use of this unpublished work for any purpose other than the intended application is strongly discouraged. Disclosure or reproduction of any of the information contained within these documents without the written consent of the owner is strictly prohibited.

SHT. 1 BY: GHK Designation: M-25 MONUMENT OF 10 DATE: 12/3/24 Drawing No. B2445014 REV. DATE DESCRIPTION BY: APR

GRAPHICS DEPICTED ARE FOR ILLUSTRATIVE PURPOSES ONLY! USE ONLY APPROVED ARTWORK FOR PRODUCTION.

General Notes:

1. Design is based on a 115 mph, 3 second gust wind design per IBC 2018 (ASCE 7-16), Category II, Exposure C.
2. Spread foundation is based on a presumptive safe vertical soil bearing pressure minimum of 2000 psf. Calson and Vertical Slab foundations are based on a presumptive safe lateral soil bearing pressure minimum of 150 psf per foot of depth. Isolated lateral bearing footings subject to short-term lateral loads and not adversely affected by a 1/2' motion at grade are permitted to be designed using twice the tabulated value of the corresponding soil class.
3. A soil report was not provided. Foundation analysis assumes Soil Classification 4. Allowable bearing pressure should be verified prior to placement of concrete. In the event that the stated requirements are not met and conditions appear deleterious, cease and secure excavation and immediately contact JP Morgan Chase.
4. Foundation shall not be placed at the top of, or on the side of a slope exceeding 3:1, or adjacent to a fill slope unless re-evaluated by a competent Professional Engineer. Do not place foundation in fill.
5. Concrete shall be mixed to attain a minimum 28 day compressive strength of 3000 psf.
6. Steel reinforcing bars shall conform to ASTM A615, Grade 60 with deformations in accordance with ASTM A305. Welding of reinforcing bars is prohibited.
7. All voids between column base plate and foundation surface shall be completely filled with high-strength, non-shrink grout.
8. Anchor bolts shall meet ASTM F1554 Grade 36 and be hot dipped galvanized to prevent corrosion.
9. All support members shall be free from defects. Steel tube shall meet ASTM A500 Grade B with a minimum yield strength of 46000 psi. Steel angle, channel and plate shall meet ASTM A36. Extruded aluminum shapes shall be 6061-T6 alloy. Aluminum sheet shall be 3003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
10. Welds shall be made with low hydrogen E70xx electrodes for steel 4 with 5356 filler for aluminum by persons qualified in accordance with AWS standards within the past two years.
11. All structural bolts shall conform to ASTM A325, and be zinc coated unless noted otherwise. When used with structural bolts, heavy hex nuts shall conform to ASTM A563, and washers shall conform to ASTM F436. Pretension all high strength bolts using the Turn-of-Nut method unless noted otherwise.
12. JP Morgan Chase will not be responsible for the safety on this job site before, during or after installation of this structure. It is the responsibility of the contractors and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
13. Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from JP Morgan Chase voids this drawing in its entirety.
14. The structure designed on this drawing is prototypical and should not be used for site specific applications unless reviewed & deemed suitable for use at that location by a Competent Professional Engineer.



General Notes:

1. Design is based on a 115 mph, 3 second gust wind design per IBC 2018 (ASCE 1-16) Category II, Exposure C, Components and Cladding Zone 5.
2. No additional wind catching surfaces are added to the building structure. The customer's building engineer is to determine the adequacy of the supporting structure.
3. Extruded aluminum shapes shall be 6061-T6 alloy. Aluminum sheet shall be 32003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
4. All welds shall be made using a 5356 series filler for aluminum by persons qualified in accordance with AWS standards within the past two years.
5. All fasteners shall be stainless steel or zinc coated to prevent corrosion.
6. All wall penetrations shall be sealed to prevent water intrusion.
7. J.P. Morgan Chase will not be responsible for the safety on the job site before, during or after installation of this structure. It is the responsibility of the contractor and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
8. Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from J.P. Morgan Chase voids this drawing in its entirety.
9. The structure designed on this drawing is prototypical and should not be used for site specific applications unless reviewed & deemed suitable for use at that location by a Competent Professional Engineer.

CHASE

These documents represent prototypical design drawings created specifically for use by J.P. Morgan Chase. Use of this published work for any purpose other than the intended application is strongly discouraged. Disclosure or reproduction of any of the information contained within these documents without the written consent of the owner is strictly prohibited.

SHT.	BY:	Designation:	REV.	DATE:	REV. DATE	DESCRIPTION	BY:	APR
OF	1	L1F-UBO-16		10/31/24		Drawing No. B2445031		

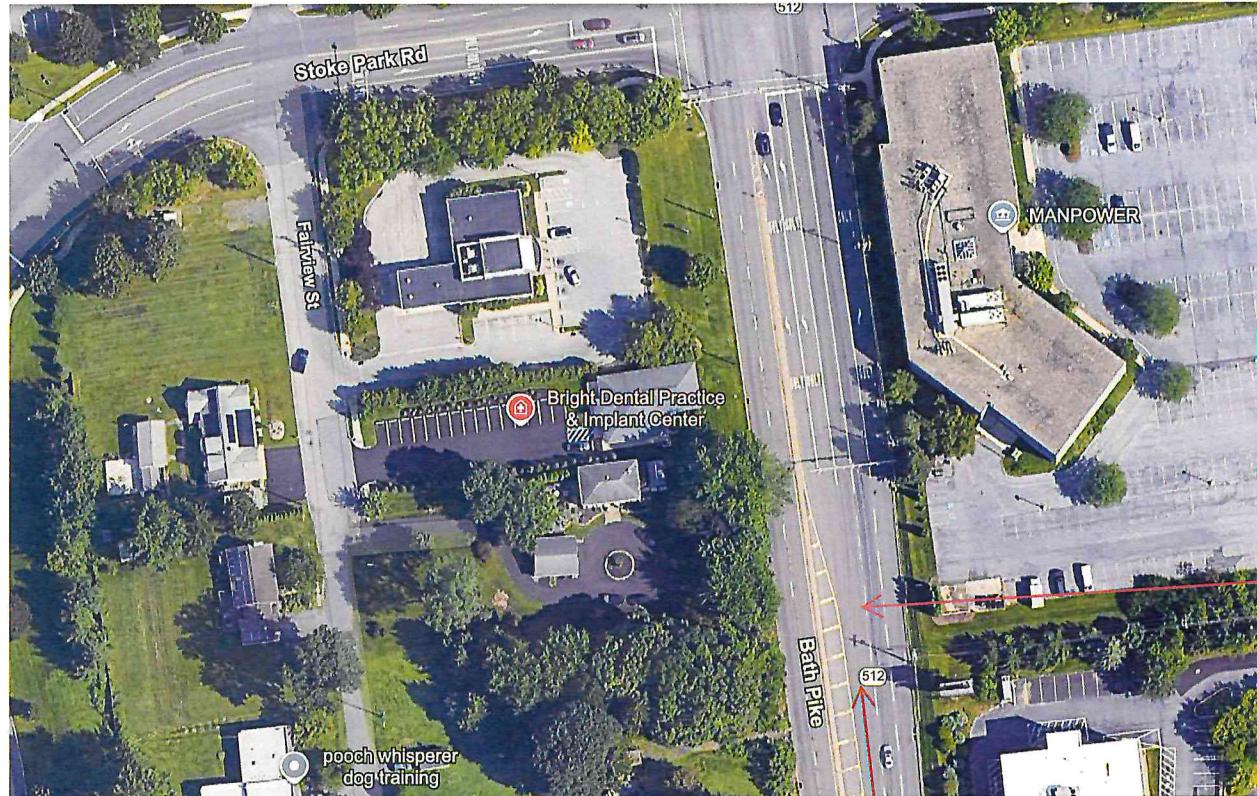
GRAPHICS DEPICTED ARE FOR ILLUSTRATIVE PURPOSES ONLY! USE ONLY APPROVED ARTWORK FOR PRODUCTION.

PREVIOUS TD BANK SIGNAGE



EXISTING NEIGHBORING PNC SIGNAGE



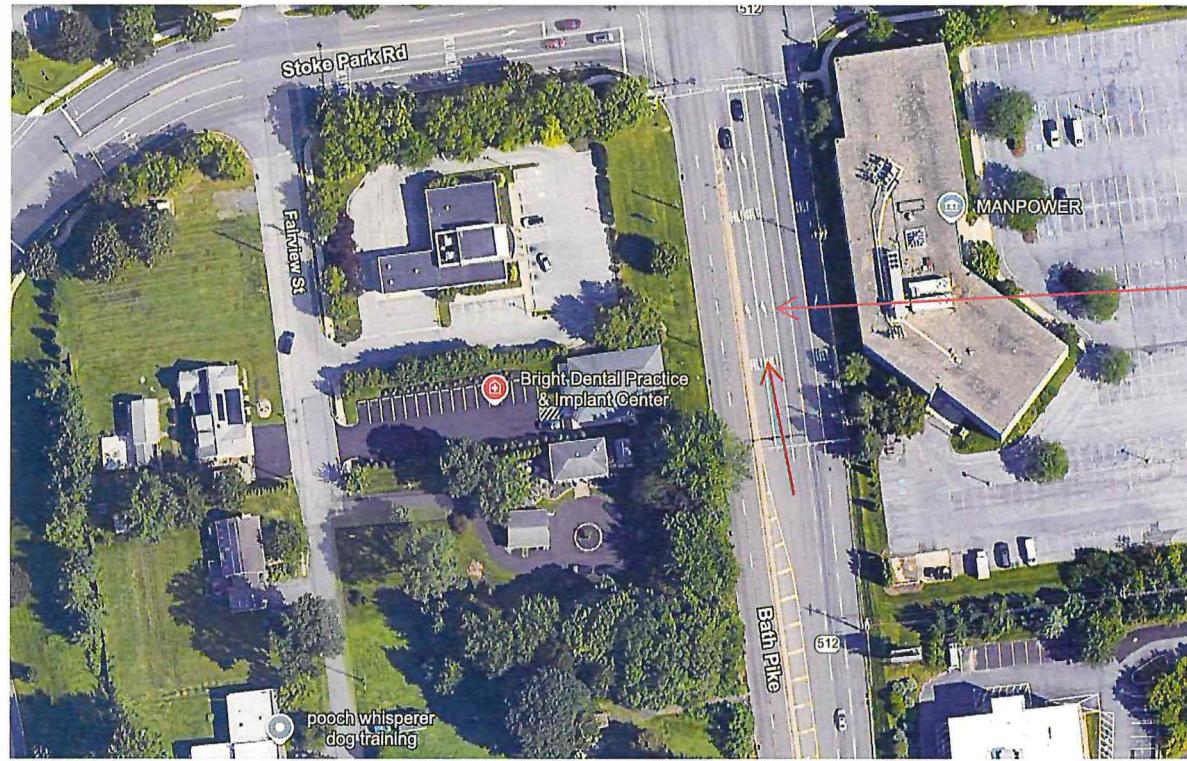


The image below is taken in this proximity and there is no visibility to the sign and/or the building.

DRIVING NORTH ON BATH PIKE APPROACHING BANK

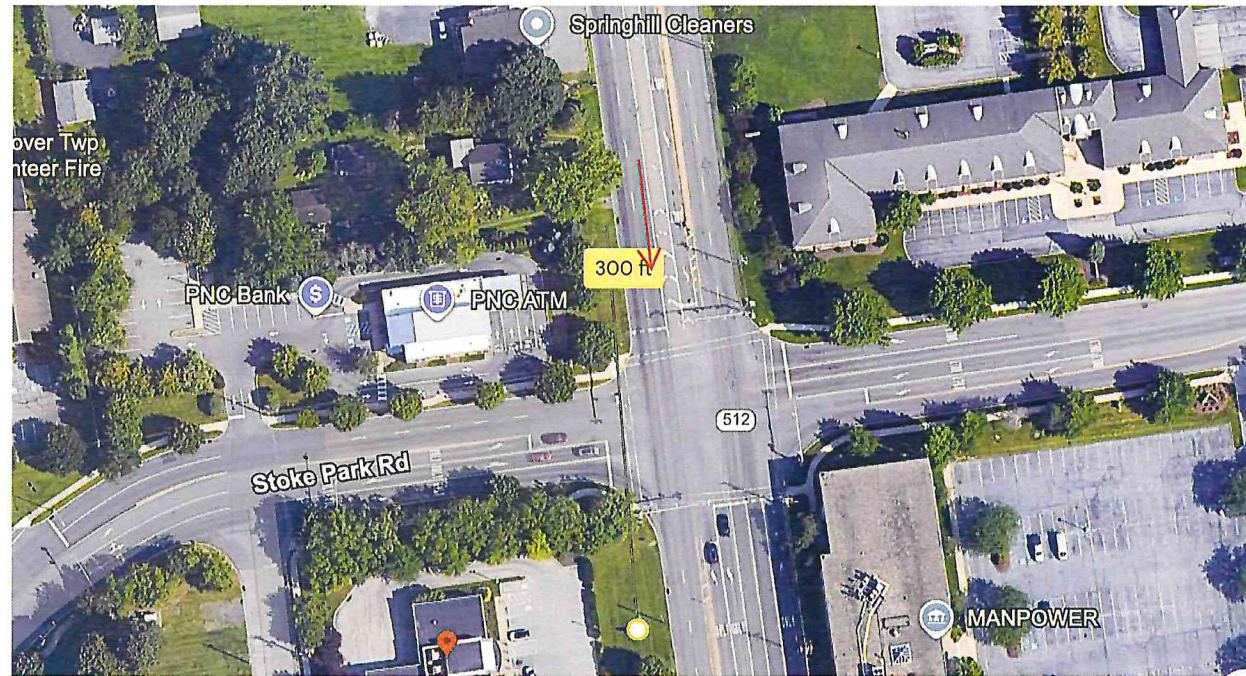
Existing pylon reface covered by trees when driving North on Bath Pike approaching the branch. You need time to get into the (2) left turn lanes and with the speed limit at 40mph. the monument option would give us the visibility needed to safely proceed to the left turn lanes





DRIVING NORTH ON BATH PIKE APPROACHING BANK

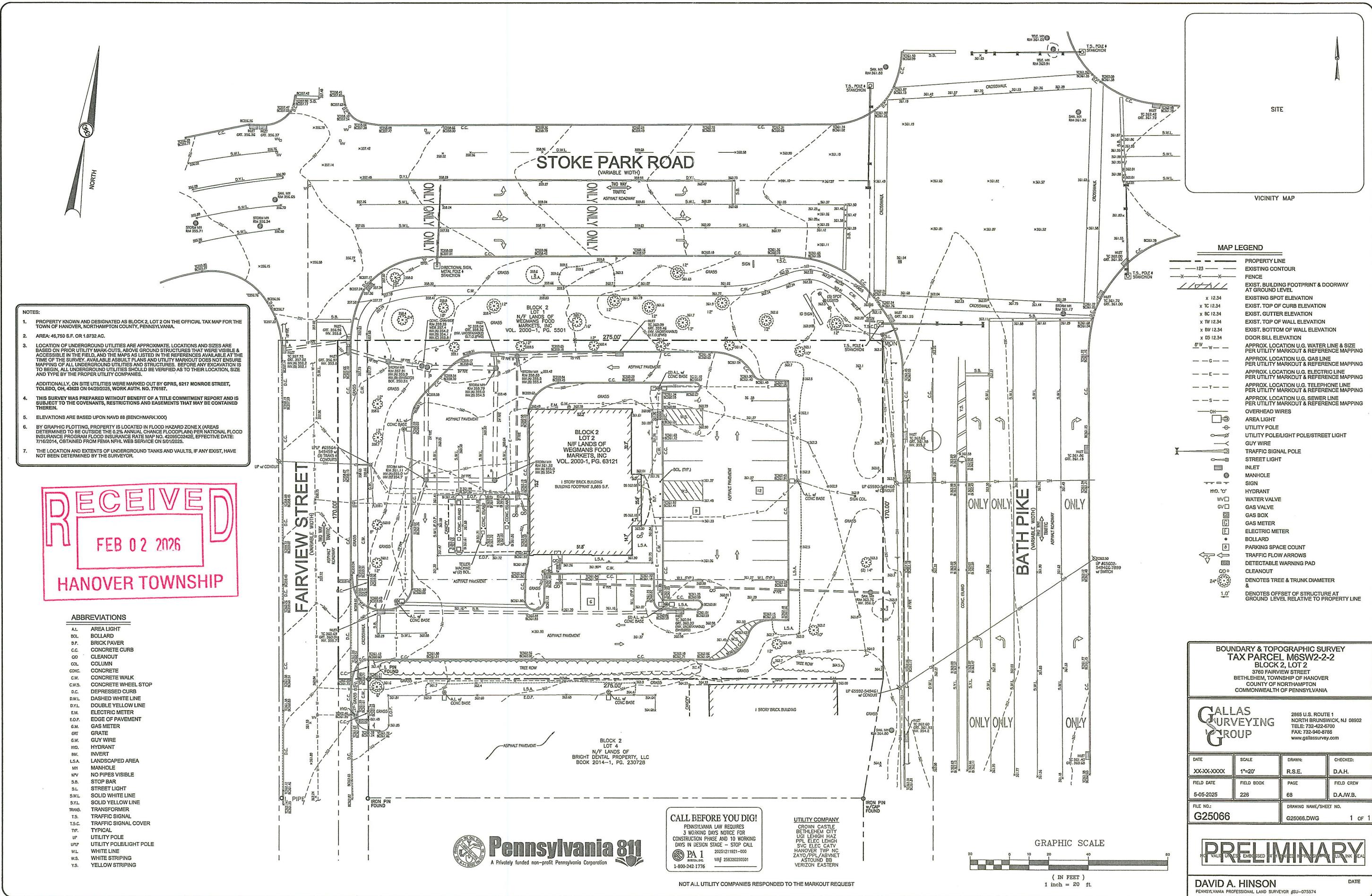




DRIVING SOUTH ON BATH PIKE APPROACHING BANK



This image is approximately 300' from the sign and the existing sign is covered by trees.



500' Radius Map with names and mailing address of property owners



1110 American Parkway
Building 10, Suite F-200B
Allentown, PA 18109
Main: 610-868-4201



Via Email
October 22, 2025

Hanover Township - Northampton County
3630 Jacksonville Road, Bethlehem, PA 18017

Attention: Kimberly Lymanstall, Township Secretary/Assistant Treasurer

Reference: Northgate 1: 2 Lot Subdivision, Northgate 1: Land Development, Northgate 1: Lot Consolidation Plan, 4000 – 4030 Airport Road Lot Consolidation & Land Development Plan

CED #: 21007876A

Subject: Municipalities Planning Code (MPC) Time Extension

Dear Ms. Lymanstall,

On behalf of the Applicant, 4300 Airport Road, LLC, we are providing a MPC extension for the following items:

- Northgate 1- 2-lot Subdivision – Improvements Deadline (H05-61)
- Northgate 1 Land Development – MPC Deadline (H06-46)
- Northgate 1 Lot Consolidation Plan – Record Plans Conditions Deadline (H06-49)
- 4000 – 4030 Airport Road Plan Recording

The extensions are granted up to and including October 31, 2026.

If you have any questions or need additional information, please do not hesitate to contact me at 484-547-0207 (direct office) or david.wilson@collierseng.com.

Sincerely,
Colliers Engineering & Design, Inc.

A handwritten signature in blue ink that reads "David F. Wilson".

David F. Wilson, P.E., CPESC
Associate / Geographic Discipline Lead

DFW:bjr

R:\Projects\2021\21007876A\Correspondence\OUT\251022_Hanover_Township_Extension_Request\251022_Hanover_Township_ 4000-4030_Airport_Rd_MPC_Time_Extension.docx



