

**BOARD OF SUPERVISORS**  
**Zoning & Code Enforcement**  
*Hanover Township Northampton County*  
3630 Jacksonville Road  
Bethlehem, Pennsylvania 18017-9302  
610.866.1140  
Fax 610.758.9116

John J. Finnigan, Jr., Township Manager  
Yvonne D. Kutz, Zoning Officer – B.C.O.

October 13, 2023

To: Board of Supervisors  
John J. Finnigan, Jr  
Kimberly Lymanstall  
Barbara Baldo  
Joseph Moeser  
Brian Dillman  
Ted Lewis, Esquire  
Jim Broughal, Esquire  
Brien Kocher, HEA

RE: Zoning Petition: 23ZHB14  
Applicant: Mayuresh V & Simone L Kothare  
Property location: 3837 Post Drive, Bethlehem PA 18017  
Zoning District: R1-U

Enclosed is a copy of the application received October 13, 2023, seeking relief from the setback provisions of the Ordinance for building addition constructed over the building restriction line.

The next meeting is tentatively scheduled 7:00 PM Thursday, November 16, 2023. Notice of Hearing to follow.

*Yvonne D. Kutz*





HANOVER TOWNSHIP, Northampton County  
3630 Jacksonville Rd, Bethlehem PA 18017  
Phone 610-866-1140 Fax 610-758-9116



## PETITION

NOTICE: This Petition, in order to be acted upon by the Zoning Hearing Board must be fully completed in accordance with the "instructions to applicant." Failure to do so will result in a denial of the Petition without refund of your filing fee.

Application is made this 13 day of October, 20 23

**I. PROPERTY INFORMATION** (*location and existing conditions for which a special permit is being applied*):

- Address of property for which a special permit is requested: 3837 Post Dr, Bethlehem, PA 18017
- Tax Parcel No.: M6 28 10 0214
- Current Zoning Classification: Residential
- The Dimension of the land area are: 130 ft wide x 105 feet deep
- The real estate contains 3555 square feet.
- The real estate in question is presently classified under the Hanover Township Zoning Ordinance as: 110 - Single Family, Residential  
(a) The real estate is presently used for the purpose of: House Rental  
(b) and contains buildings and other improvements consisting of (if real estate is vacant land, so note): Single family home

**II. OWNER INFORMATION**

- Owner of property: Mayuresh V & Simone L Kothare Telephone 6107030729; 6107515478  
(all parties to the title must be listed, attach additional page if needed)  
Address 3035 Rockdale Rd, Slatington PA, 18080

**III. APPLICANT INFORMATION** (*herein after known at the "Petitioner"*)

- Applicant ("Petitioner(s)") Mayuresh V & Simone L Kothare Telephone 6107030729; 6107515478  
(all parties must be listed, attach additional page if needed)  
Address 3035 Rockdale Rd, Slatington PA, 18080
- Petitioner is the (check one or more)  
☒ Owner ☐ Occupant ☐ Agent for: \_\_\_\_\_ ☐ Other: \_\_\_\_\_
- Attorney representing Petitioner(S): \_\_\_\_\_ Telephone \_\_\_\_\_  
Address \_\_\_\_\_
- Petitioner: (check appropriate action)  
☐ Hereby appeals from the decision of the Zoning Administrator, or other township Official; or  
☒ Hereby applies for a special exception or permit, or variance, from the terms of the Zoning Ordinance; or  
☐ Hereby applies for: \_\_\_\_\_
- Petitioner appeals or makes application from the order, requirement, decision or determination of the Zoning Administrator or other Township Official made on October 6, 2023, which was as follows: (quote, or if insufficient space, attach additional page). The garage addition permitted in June 2006 was built 1 ft closer to the property line than allowed in Ordinance Section §185-26. F. (2).



6. Petitioner claims that the variance, exception, or other relief should be granted as herein requested under the following sections of the Hanover Township Zoning Ordinance. (cite all sections supporting your position, or relevant to the consideration of your Petition) Ordinance Section §185-26. F. (2). Setback. Pursuant to §185-12. §185-14 G. Yard requirement  
2006 permitted Garage addition project was built 12 ft away from property line (13 ft was required). Code Master stamped a project version signed by owner/contractor that missed Zoning Officer hand written comments.

This version was provided to contractor. Other extenuating circumstances were contractor non-performance and poor communication after receiving first payment, extending project to over 10 mo

7. The variance or exception requested and the new improvements desired to be made as follows:

(a) Building(s) to be erected: Garage addition in 2006 was 1 ft closer to the property line than directed by Ordinance Section §185-26. F. (2). However, 10 ft easement rule in Ordinance Section §185-14 G was still satisfied. Structure and sidewalks were built within the footprint of the original driveway. Soil from sidewalk to property line was not disturbed.

(b) Building(s) to be changed: \_\_\_\_\_

(c) Building(s) to be used for: \_\_\_\_\_

8. The plot plan, drawings, sketches and other exhibits attached hereto are made a part hereof. Please include 22 copies of the petition and all these attachments.
9. Petitioner believes that the exceptions, variance, Conditional Use or other relief requested should be granted for the following reasons: (attach additional sheet if necessary)
10. Petitioner agrees to comply with all provisions of the Hanover Township Zoning Ordinance and is aware that the Ordinance provides for penalties for violations of its provisions.
11. The Petitioner further acknowledges that the Board does not have to consider any application until all information requested by the Board of Supervisors is submitted by said applicant, and that in the event this information is not submitted in full within twenty (20) days from the date of the initial Board of Supervisors Hearing, then the Board may deny such application, with or without prejudice to the applicant.
12. Wherever additional information is requested by the Zoning Hearing Board, and leave to submit additional information is specifically granted by the chairman of the Zoning Hearing Board, then in consideration of the Board's forbearance in not refusing the application at the conclusion of the hearing, the Petitioner agrees to extend the time for consideration of the application by the Zoning Board for the number of days after the date of decision specified in any Ordinance of the Township, by the same number of days which the Zoning Hearing Board's consideration of the Petition was delayed by failure on the part of Petitioner to submit additional information requested.

NOTE: All Petitioners must sign \_\_\_\_\_  
at least one must sign in the \_\_\_\_\_ Petitioner  
presence of a person capable  
of administering an oath (see below) \_\_\_\_\_ (SEAL)

\_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
(SEAL)

NOTE: The following affidavit must be taken before a Notary Public or other appropriate official by one of the Petitioners.



FOR INDIVIDUAL PETITIONERS:

COMMONWEALTH OF PENNSYLVANIA )  
 ) ss:  
COUNTY OF \_\_\_\_\_ )

*ON THIS*, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, \_\_\_\_\_ the undersigned officer,  
personally appeared, \_\_\_\_\_,  
known to me (or satisfactorily proven) to be the person whose name (is)(are) subscribed to the within instrument, and  
acknowledged that he executed the same for the purposes therein.

*IN WITNESS WHEREOF*, I hereunto set my hand and official seal.

\_\_\_\_\_  
(SEAL)  
Signature of the Petitioner taking affidavit

Sworn to and subscribed before me  
This \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

---

FOR CORPORATE PETITIONERS:

COMMONWEALTH OF PENNSYLVANIA )  
 ) ss:  
COUNTY OF \_\_\_\_\_ )

*ON THIS*, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, \_\_\_\_\_ the undersigned officer,  
personally appeared, \_\_\_\_\_,  
who acknowledged \_\_\_\_\_ self to be the \_\_\_\_\_ of  
\_\_\_\_\_, a corporation, and that he as such \_\_\_\_\_ being  
authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the  
corporation by \_\_\_\_\_ self as \_\_\_\_\_.

*IN WITNESS WHEREOF*, I hereunto set my hand and official seal.

\_\_\_\_\_  
(SEAL)  
Signature of the Petitioner taking affidavit

Sworn to and subscribed before me  
This \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC



# PROPERTY OWNERSHIP

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<b>Parcel</b>	PARID: M6 28 10 0214	3837 POST DR
<b>Owner</b>	KOTHARE SIMONE L O & MAYURESH V,	
<b>Multi-Owner</b>	Parcel	
<b>Residential</b>	Property Location	3837 POST DR
<b>Commercial</b>	Unit Desc	
<b>Out Buildings</b>	Unit #	
<b>Land</b>	City	
<b>Values</b>	State	
<b>Homestead</b>	Zip Code	
<b>Sales</b>	Neighborhood Valuation Code	1403
<b>Tax Information</b>	Trailer Description	
<b>Photos</b>	Municipality	HANOVER TOWNSHIP
<b>Sketch</b>	Classification	Residential
<b>Map</b>	Land Use Code	110 - Single Family, Residential
	School District	BETHLEHEM SCHOOL DIST
	Topography	LEVEL
	Utilities	ALL PUBLIC
	Street/Road	PAVED
	Total Cards	1
	Living Units	1
	CAMA Acres	.287
	Homestead /Farmstead	H - Homestead
	Approved?	D-L - Denial Letter Sent
	Parcel Mailing Address	
	In Care of Name(s)	KOTHARE SIMONE L O & MAYURESH V
	Mailing Address	3035 ROCKDALE RD
	City, State, Zip Code	SLATINGTON, PA, 18080
	Alternate Address	
	Alternate Address	
	City	
	State	
	Zip	
	ACT Flags	
	Act 319/515	
	LERTA	
	Act 43	
	Act 66	
	Act 4/149	
	KOZ	
	TIF Expiration Date	
	BID	
	Millage Freeze Date	
	Millage Freeze Rate	
	Veterans Exemption	
	Tax Collector	
	JOAN S. STEINBERG, TAX COLLECTOR	
	3630 JACKSONVILLE RD	
	BETHLEHEM PA 18017-9302	
	610-866-1140	
	Assessor	

Record Navigator

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GREG OZGAR  
610-829-6165

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NEWSB, C

SUBDIVISION

POINTS

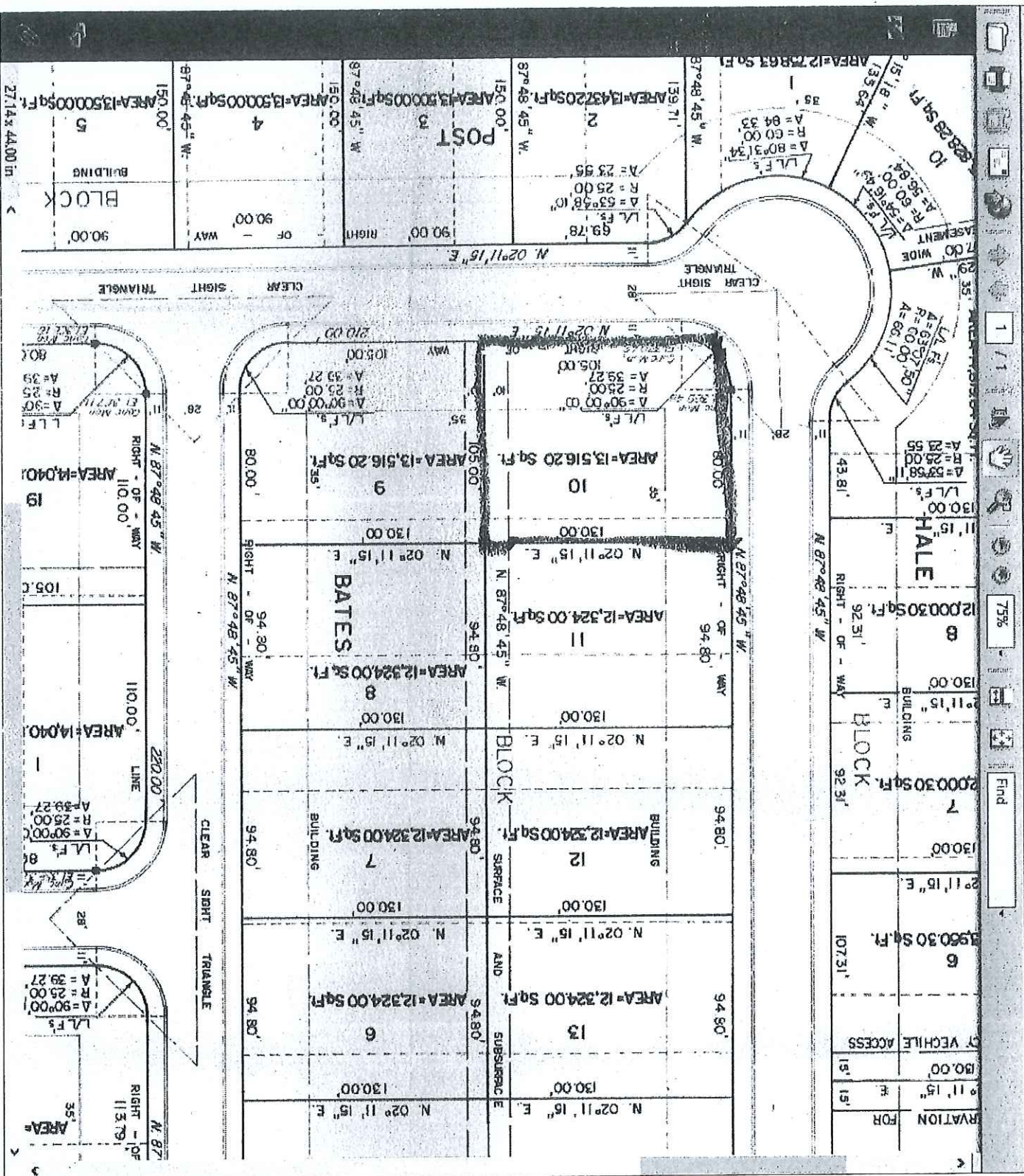
NORTH

ABUTTING

STREETS:

- POST DR

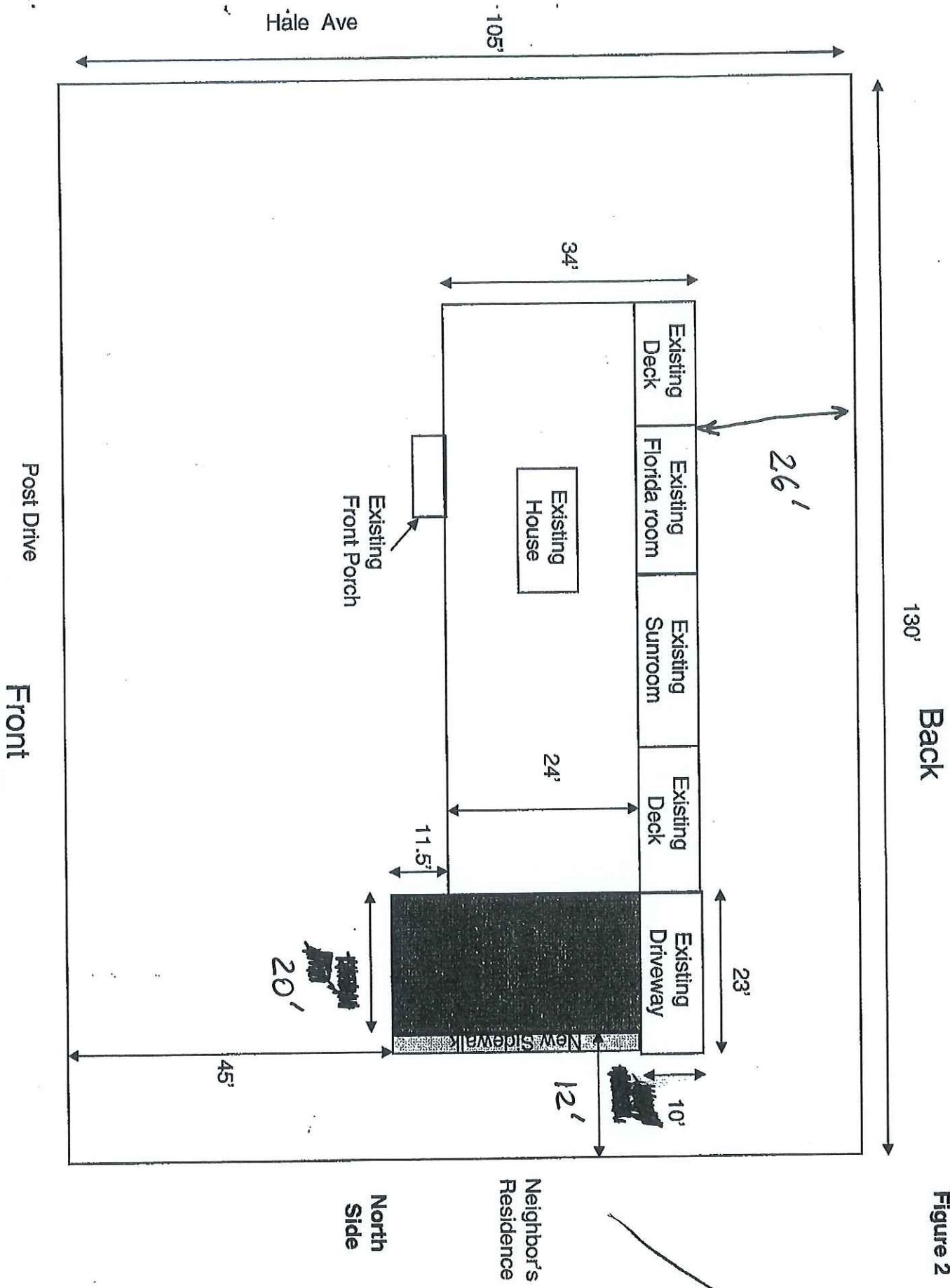
- HALE AV





16 MS D & E

Figure 2





[Home](#)[Property Records](#)[County Website](#)**Parcel****Owner****Multi-Owner****Residential****Commercial****Out Buildings****Land****Values****Homestead****Sales****Tax Information****Photos****Sketch****Map****Sketch**

PARID: M6 28 10 0214

KOTHARE SIMONE L O &amp; MAYURESH V,

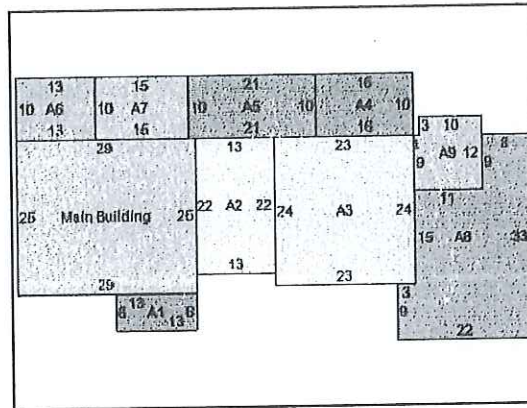
3837 POST DR

Record Navigator

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Type	Line #	Item	Area
Dwelling	0	Main Building	725
Dwelling	1	A1 - 11:0FP OPEN FRAME PORCH	78
Dwelling	2	A2 - 10/10:1S FR ONE STORY FRAME/1S FR ONE STORY FRAME	286
Dwelling	3	A3 - 10/10:1S FR ONE STORY FRAME/1S FR ONE STORY FRAME	552
Dwelling	4	A4 - 31:WDDCK WOOD DECKS	160
Dwelling	5	A5 - 12:EPF ENCL FRAME PORCH	210
Dwelling	6	A6 - 31:WDDCK WOOD DECKS	130
Dwelling	7	A7 - 10/10:1S FR ONE STORY FRAME/1S FR ONE STORY FRAME	150
Dwelling	8	A8 - 13:FR GR FRAME GARAGE	555
Dwelling	9	A9 - 10:1S FR ONE STORY FRAME	129

Click on an item to display it independently.

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Last Updated: 09/Oct/2023

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KEMS 4 G

CHICAGO PORTAL - Permits

gis.northamptoncounty.org/parcelviewer/

Tax Parcel Viewer

Property Records Search

Site Instructions

Buffer Search

Search by Map, Block, Lot

Query criteria

Reset by name

Results Query result

Search by Address

Query criteria

Search by Owner

Reset by name

Apply

Map navigation controls

Parcel map showing lots 6, 7, 8, 9, 10, 11, 12, 13, 26, 27, 28, 29. Lot 10 is highlighted with a red border and arrows pointing to its dimensions: 105' (top), 80' (left), 105' (right), and 130' (bottom). Other dimensions shown include 94.5', 130', 39.27', 105', 148.85', 150', 115', and 130'. A street labeled 'HARBOR' is visible on the right side of the map.

311 438 47 Northampton County GIS Division | Emergency Maps Configuration, Last 6th County P

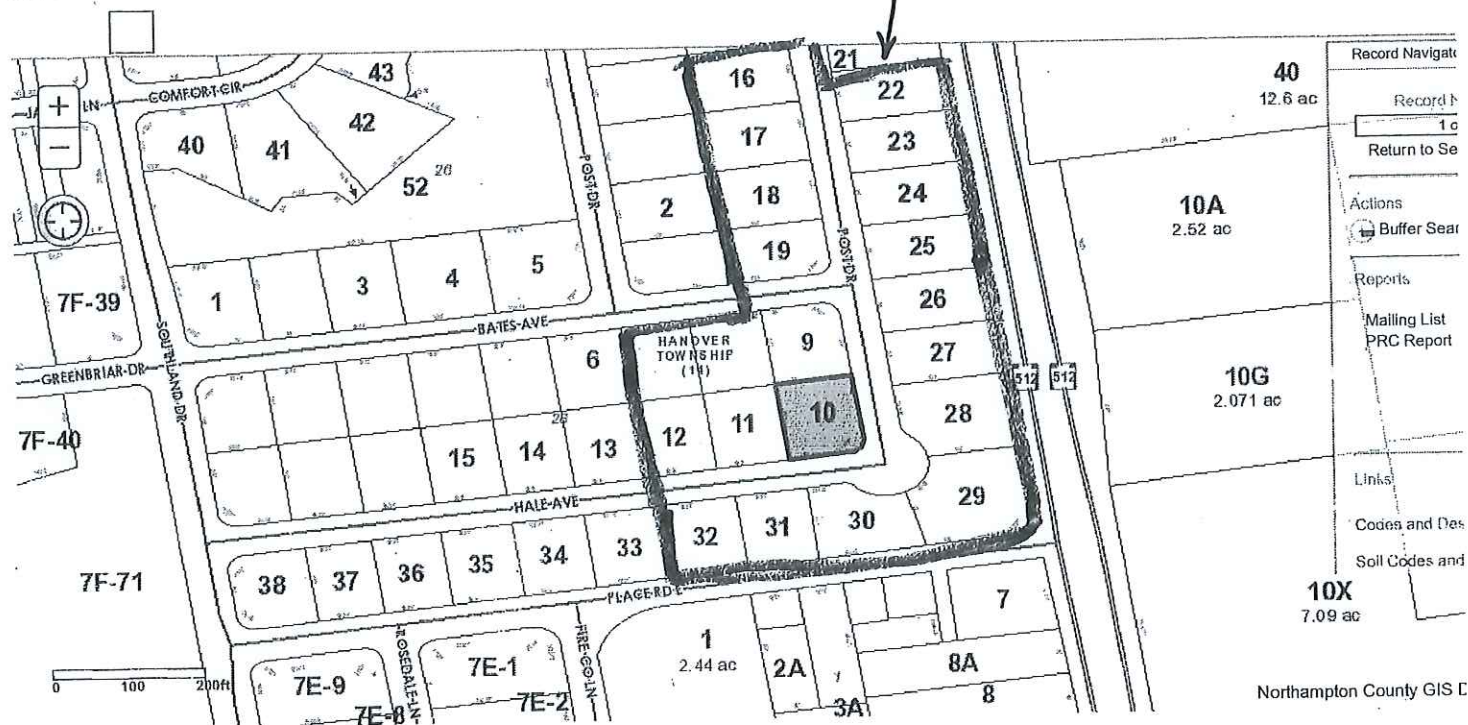
Click to zoom in, zoom out, and view details



QVEM J

PARID: M6 28 10 0214  
KOTHARE SIMONE L O & MAYURESH V,

PROPERTIES INCLUDED





#### **List of Properties within 500 ft on Post Dr**

- 1) 3843 Post Dr, Bethlehem, PA 18017. Owners: PANGAIO ANTONIO O & ANA E, (Lot 9)
- 2) 3849 Post Dr, Bethlehem, PA 18017. Owners: LING MICHAEL P & AMY Y, (Lot 19)
- 3) 3855 Post Dr, Bethlehem, PA 18017. Owners: CHURILLA RICHARD & CHRISTINA, (Lot 18)
- 4) 3861 Post Dr, Bethlehem, PA 18017. Owners: COMPOS STEPHEN C & LINDA M, (Lot 17)
- 5) 3867 Post Dr, Bethlehem, PA 18017. Owners: SCHILLER JONATHAN P & DEANA A, (Lot 16)
- 6) 3836 Post Dr, Bethlehem, PA 18017. Owners: BENATTI PAULO M & REGINA G, (Lot 28)
- 7) 3842 Post Dr, Bethlehem, PA 18017. Owners: KRATZER MICHAEL J & ANTOINETTE J, (Lot 27)
- 8) 3848 Post Dr, Bethlehem, PA 18017. Owners: WALLACE SHARON, (Lot 26)
- 9) 3854 Post Dr, Bethlehem, PA 18017. Owners: STROHL RANDY C & KATHERINE A, (Lot 25)
- 10) 3860 Post Dr, Bethlehem, PA 18017. Owners: AHNER KESLIN, (Lot 24)
- 11) 3866 Post Dr, Bethlehem, PA 18017. Owners: STONE ALAN L & SANDRA A, (Lot 23)
- 12) 3870 Post Dr, Bethlehem, PA 18017. Owners: YENCHO THOMAS J JR & BRIGITTE C (Lot 22)

#### **List of Properties within 100 ft not on Post Dr**

- 13) 5422 Hale Av, Bethlehem, PA 18017. Owners: FENSTERMAKER DAVID R & JANET, (Lot 11)
- 14) 5421 Bates Av, Bethlehem, PA 18017. Owners: CHAUDHURY MANOJ K & SHIBANI,
- 15) 5428 Hale Av, Bethlehem, PA 18017. Owners: MAYORCA DOMINICK & JOSEPHINE, (Lot 12)
- 16) 5427 Bates Av, Bethlehem, PA 18017. Owners: DELEO GARY G & BARBARA A,
- 17) 5401 Hale Av, Bethlehem, PA 18017. Owners: GONZALEZ GRIMALDI & TOSHYA, (Lot 29)
- 18) 5411 Hale Av, Bethlehem, PA 18017. Owners: ADIGUN LANRE & SIMISOLA ATINUKE, (Lot 30)
- 19) 5421 Hale Av, Bethlehem, PA 18017. Owners: KLIPPLE DALE S JR & JEANNE M, (Lot 31)
- 20) 5427 Hale Av, Bethlehem, PA 18017. Owners: TUBIANA IOANA L, (Lot 32)



Hanover Township  
Northampton County  
3630 Jacksonville Rd  
Bethlehem PA 18017-9303  
Phone: (610) 866-1140

Building permit # 60600054

Property: M6-28-0010  
3837 Post Dr

Owner  
Kothare, Mayuresh V & Simone LO  
3837 Post Dr  
Bethlehem PA 18017

Date: June 28, 2006  
Applicant: Kothare, Mayuresh V & Simone LO  
3837 Post Dr  
Bethlehem PA 18017

Expires: June 28, 2007

Contractor: Fine Line Construction, Inc  
436 Union Street  
Nazareth PA 18064

Comments CALL HANOVER TOWNSHIP TO SCHEDULE ALL INSPECTIONS. 610-866-1140  
NOTE: FAILED INSPECTIONS SHALL BE CHARGE A REINSPECTION FEE PER REINSPECTION.

**Fees information**

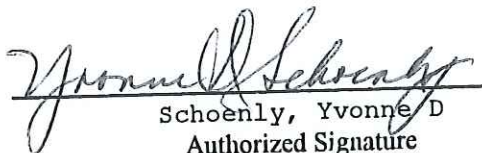
<u>Description</u>	<u>Rate</u>	<u>Units</u>	<u>Amount</u>	<u>Pay Date</u>	<u>Paid</u>	<u>Comments</u>
Electrical	\$110.00	1	\$110.00	6/28/2006	\$110.00	
Plumbing - Residential	\$110.00	1	\$110.00	6/28/2006	\$110.00	
Act 13 fee	\$2.00	1	\$2.00	6/28/2006	\$2.00	
Enclosed Additions	\$450.00	1	\$450.00	6/28/2006	\$450.00	
			<u>\$672.00</u>		<u>\$672.00</u>	

**Improvements information**

<u>Improvement type</u>	<u>Value</u>	<u>Comments</u>
ADDITION	\$53350.00	CONSTRUCT A ONE-STORY ADDITION 19' X 36', 179 SQ FT NEW BATHROOM AND HOT TUB AREA AND 496 SQ FT OF GARAGE AND STORAGE SPACE ( EXISTING 2-CAR GARAGE CONVERTED INTO LIVING SPACE

Estimated cost or value: \$53,350.00

Legal Terms In accepting this building permit as issued, the applicant agrees to perform all work on new or existing structure(s) as specified in the permit application, and in conformity with the ordinances, statues and regulations of the municipality, county and state. It is the responsibility of the lot owner to abide by any imposed restrictions and protective covenants running with the land and for the time period specified.

  
Schoenly, Yvonne D  
Authorized Signature  
6/28/2006



**Front view of house**  
3837 Post Drive, Bethlehem PA 18017  
Mayuresh & Simone Kohhare



Figure 1



Back





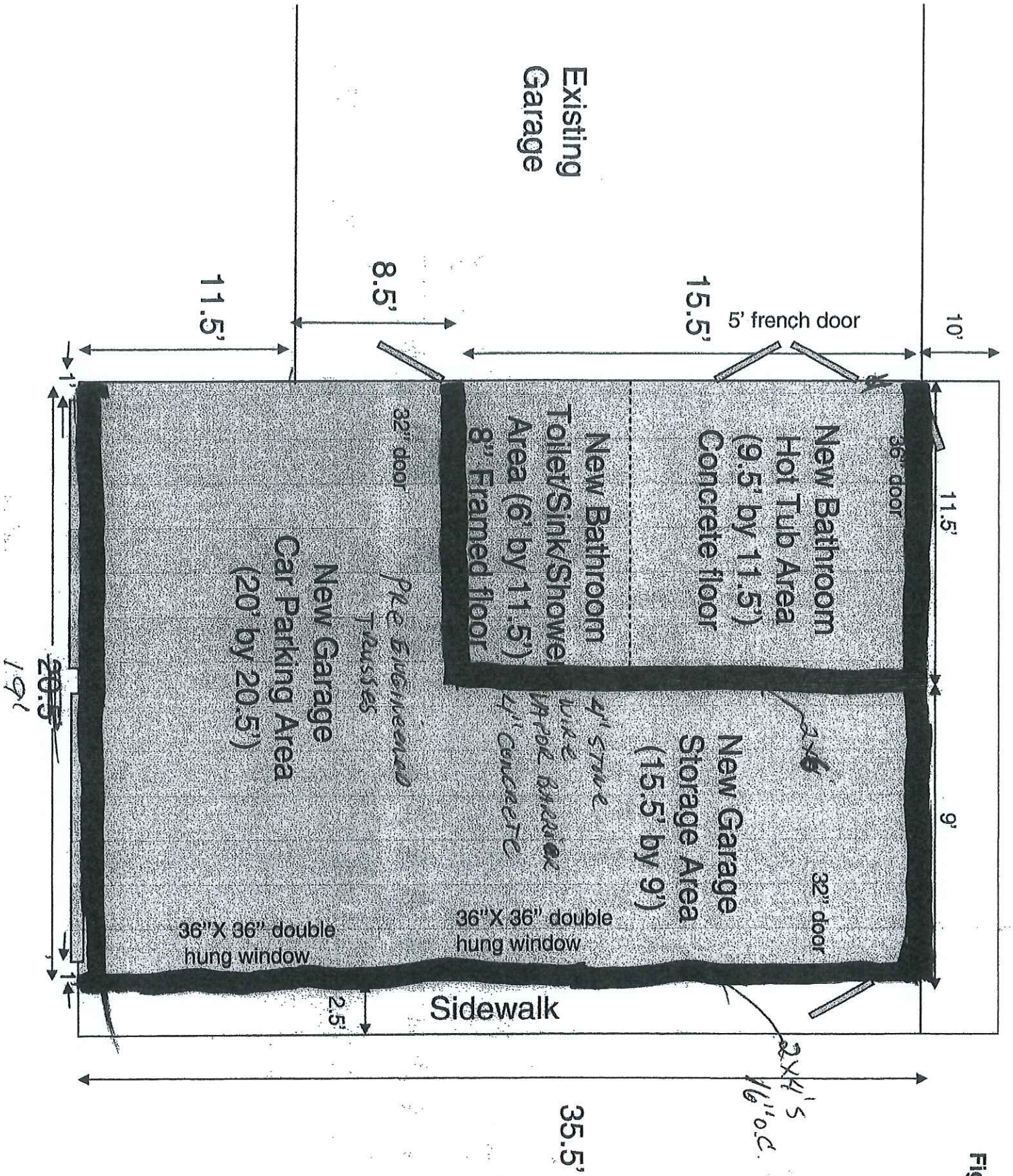


Figure 3



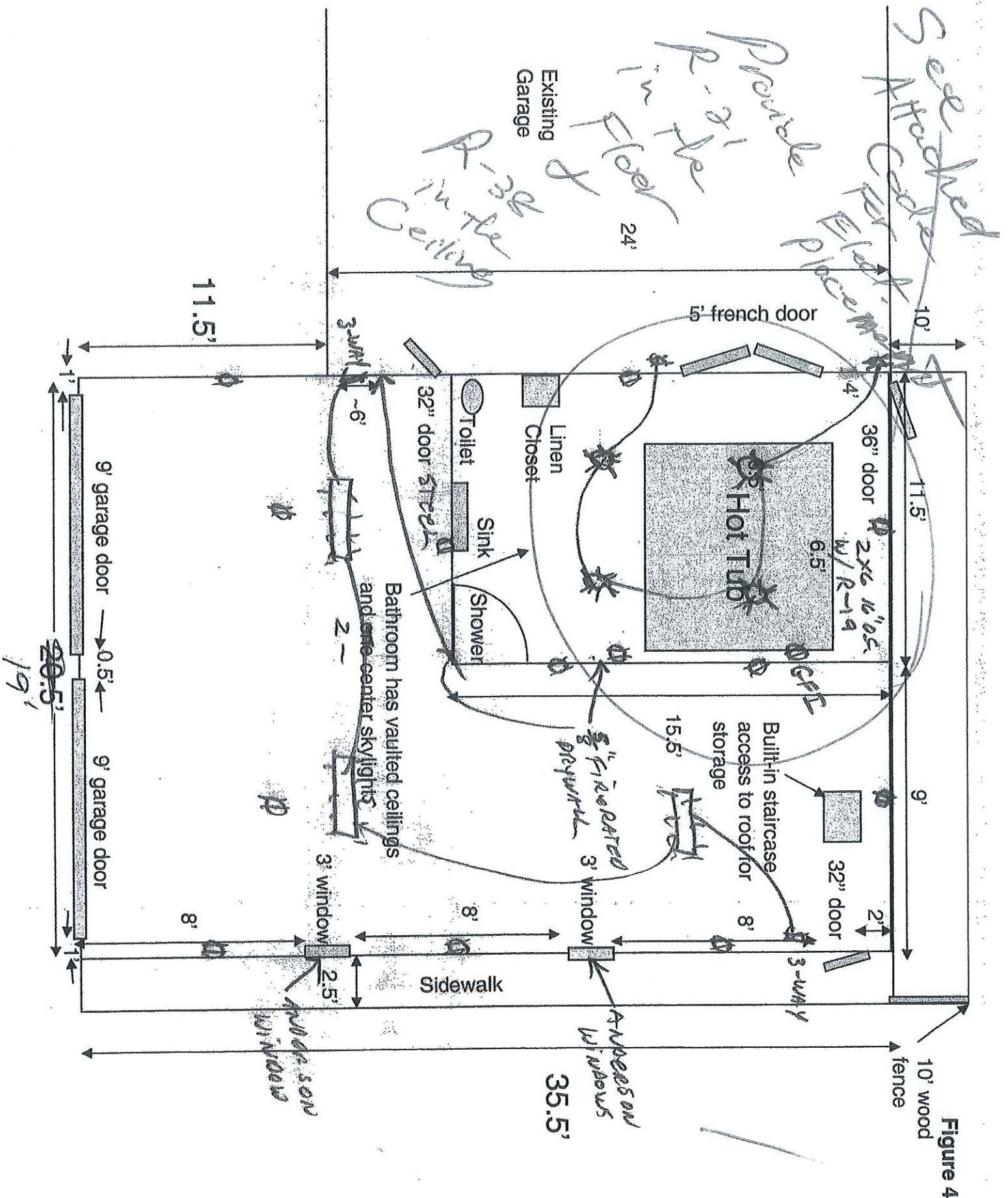


Figure 4



Sunroom

Figure 5

Details of existing garage  
to be converted into a room

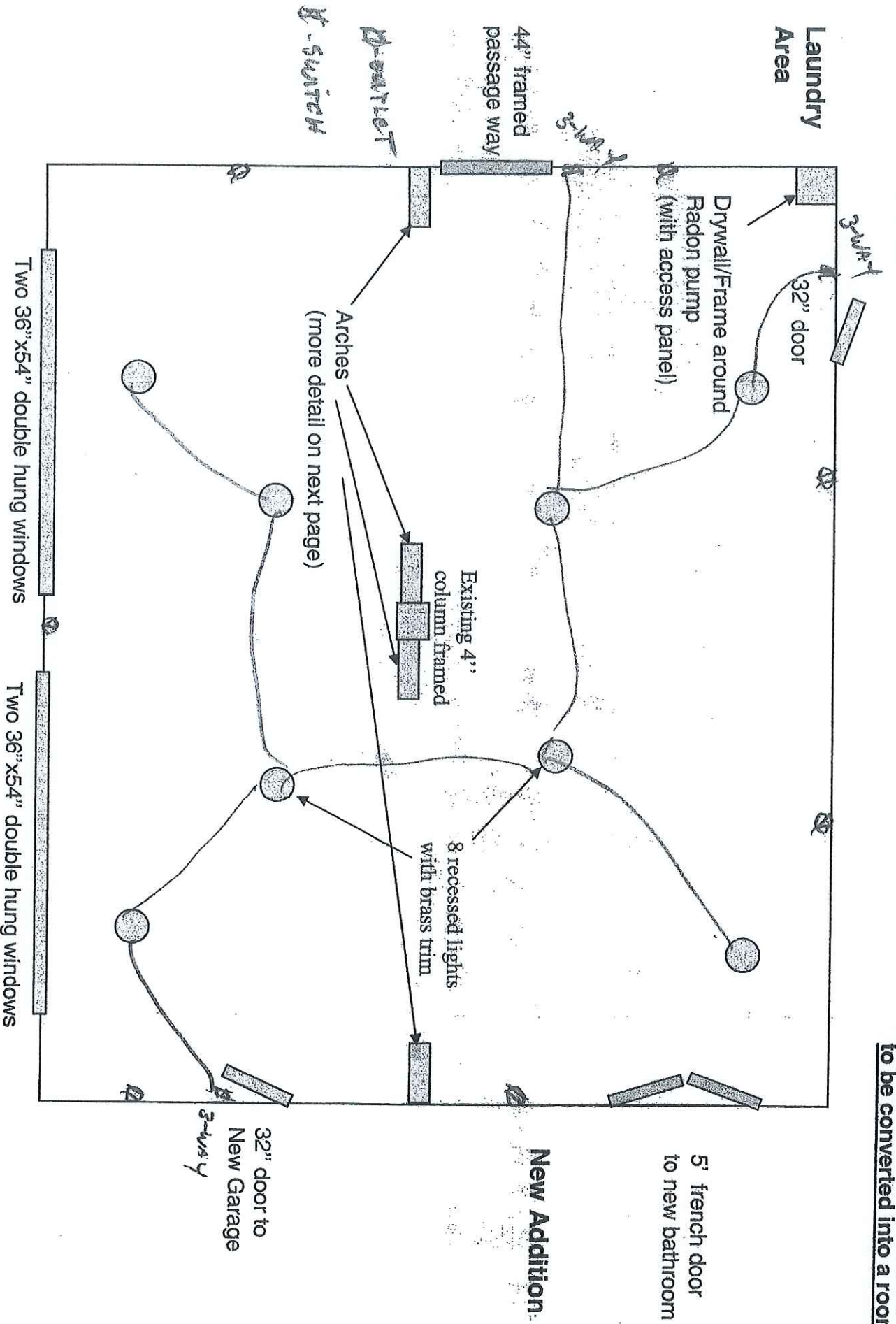
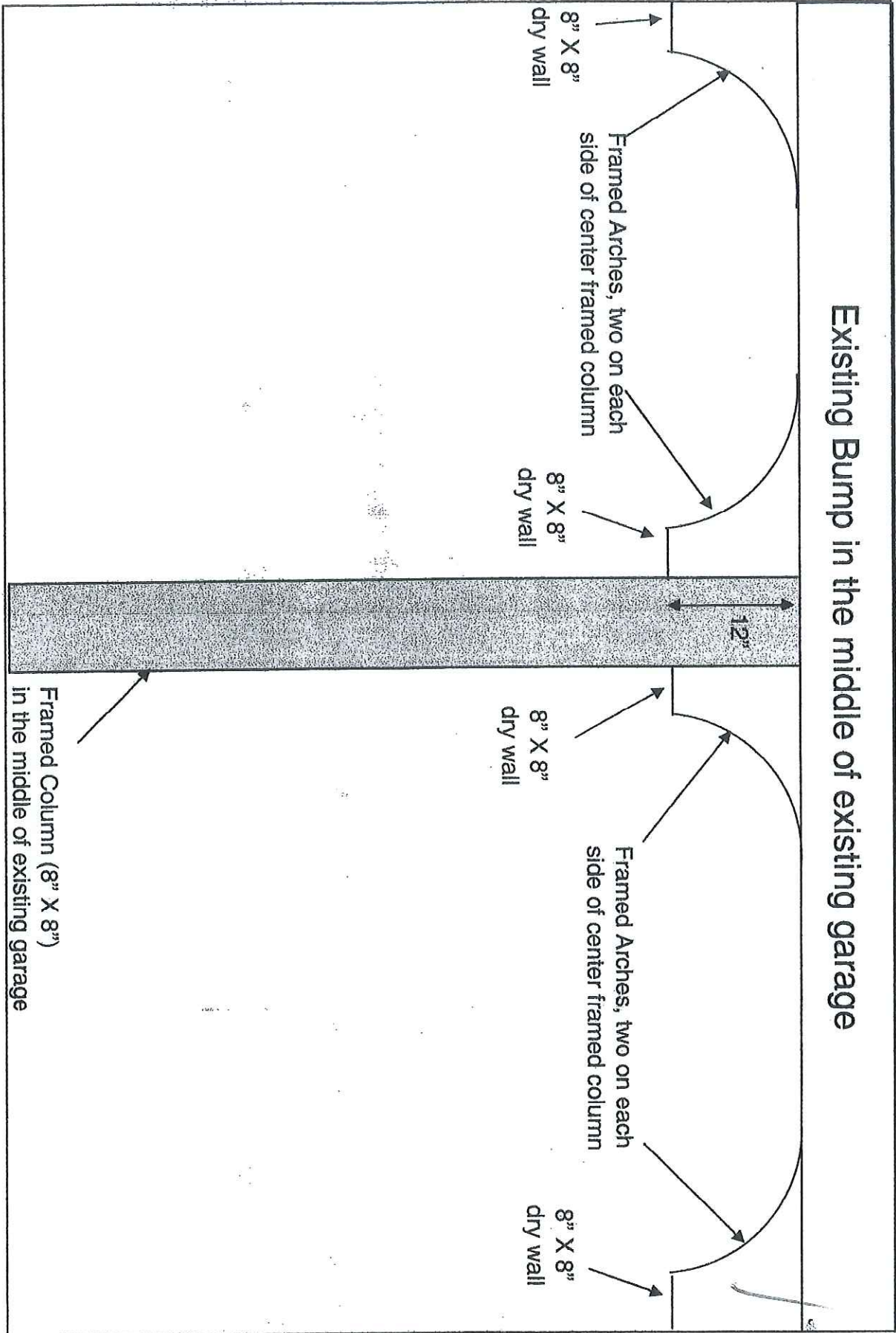




Figure 6





North side view of house  
 3837 Post Drive, Bethlehem PA 18017  
 Mayuresh & Simone Kohare

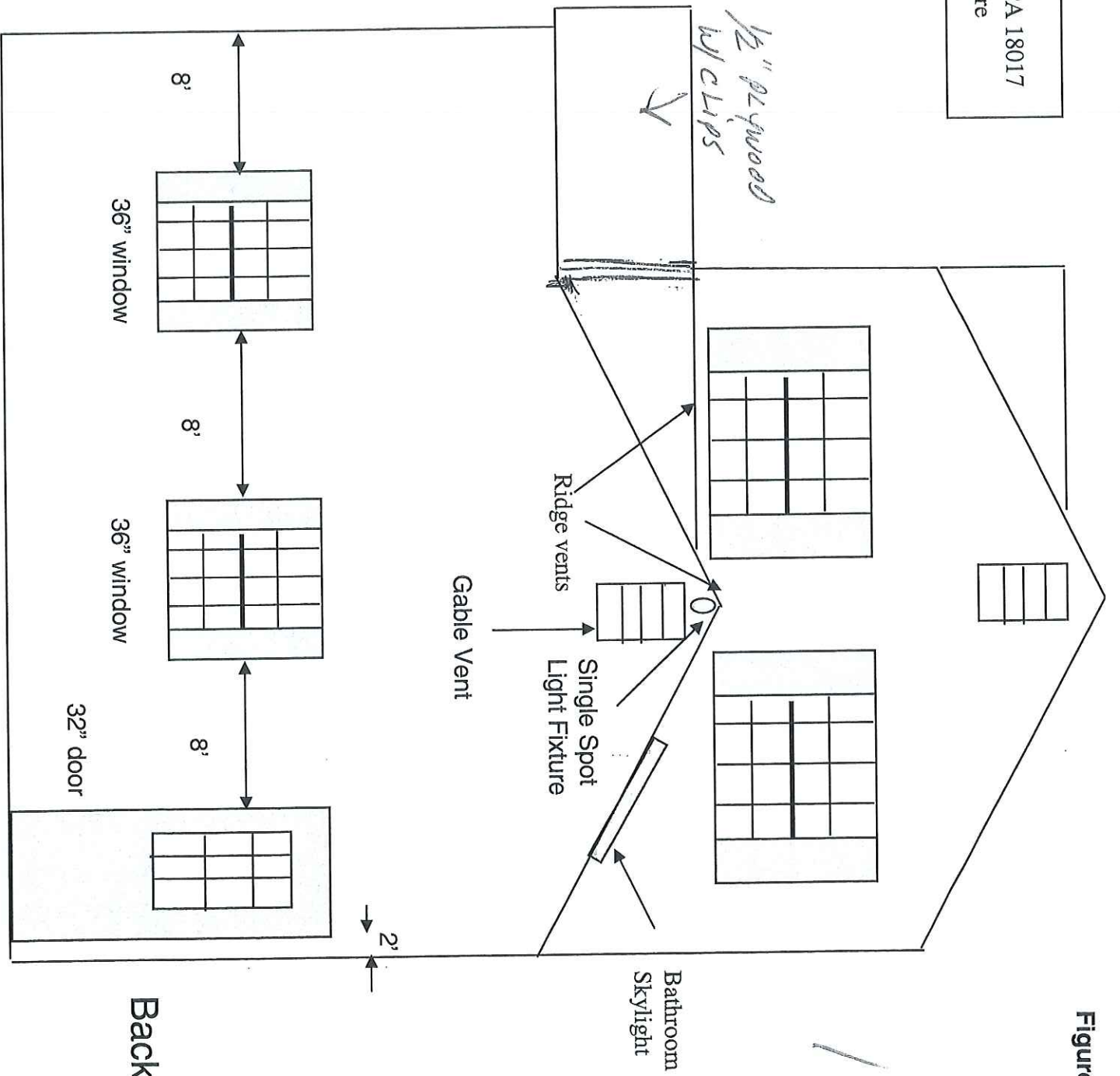
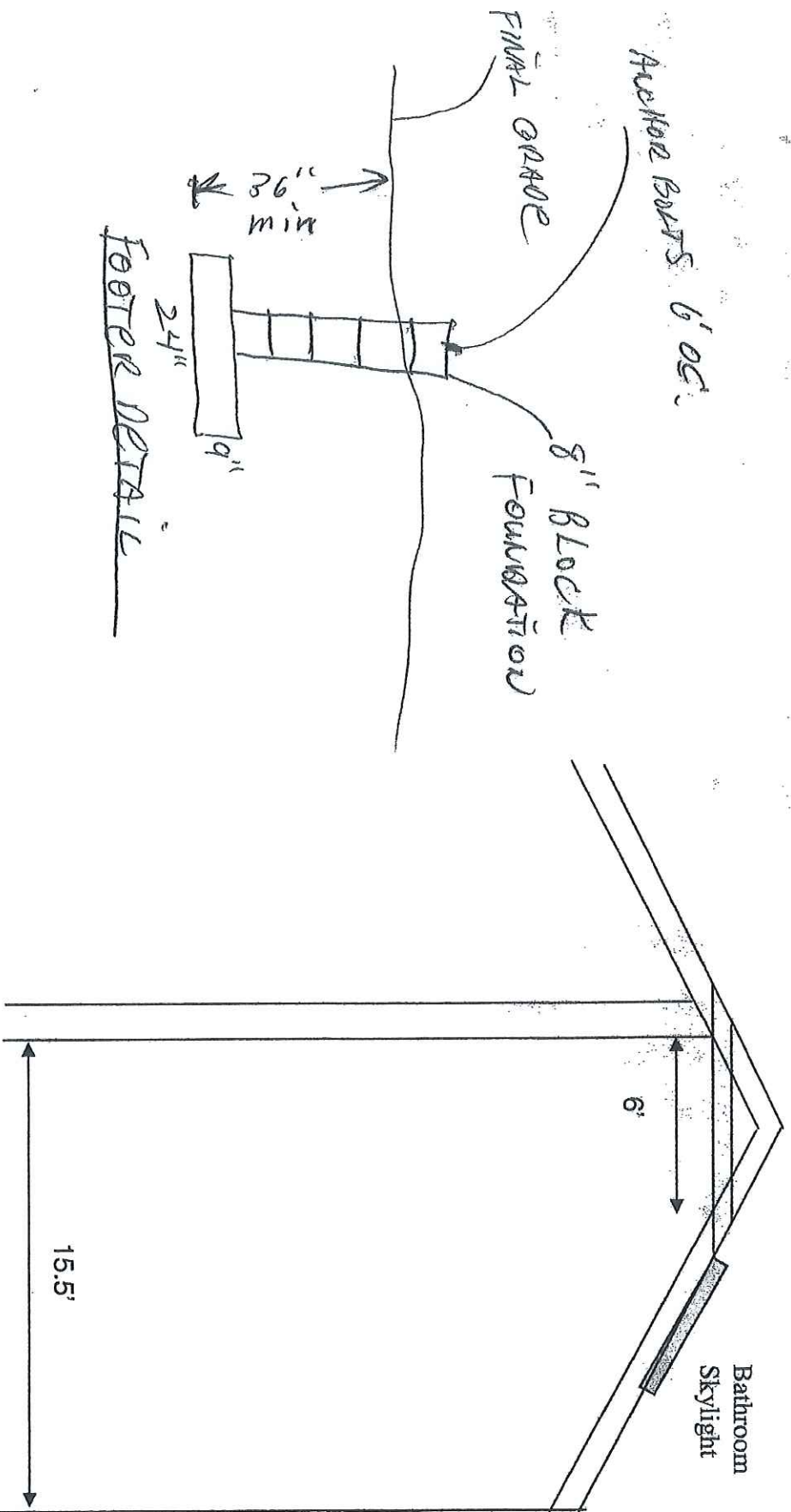


Figure 7

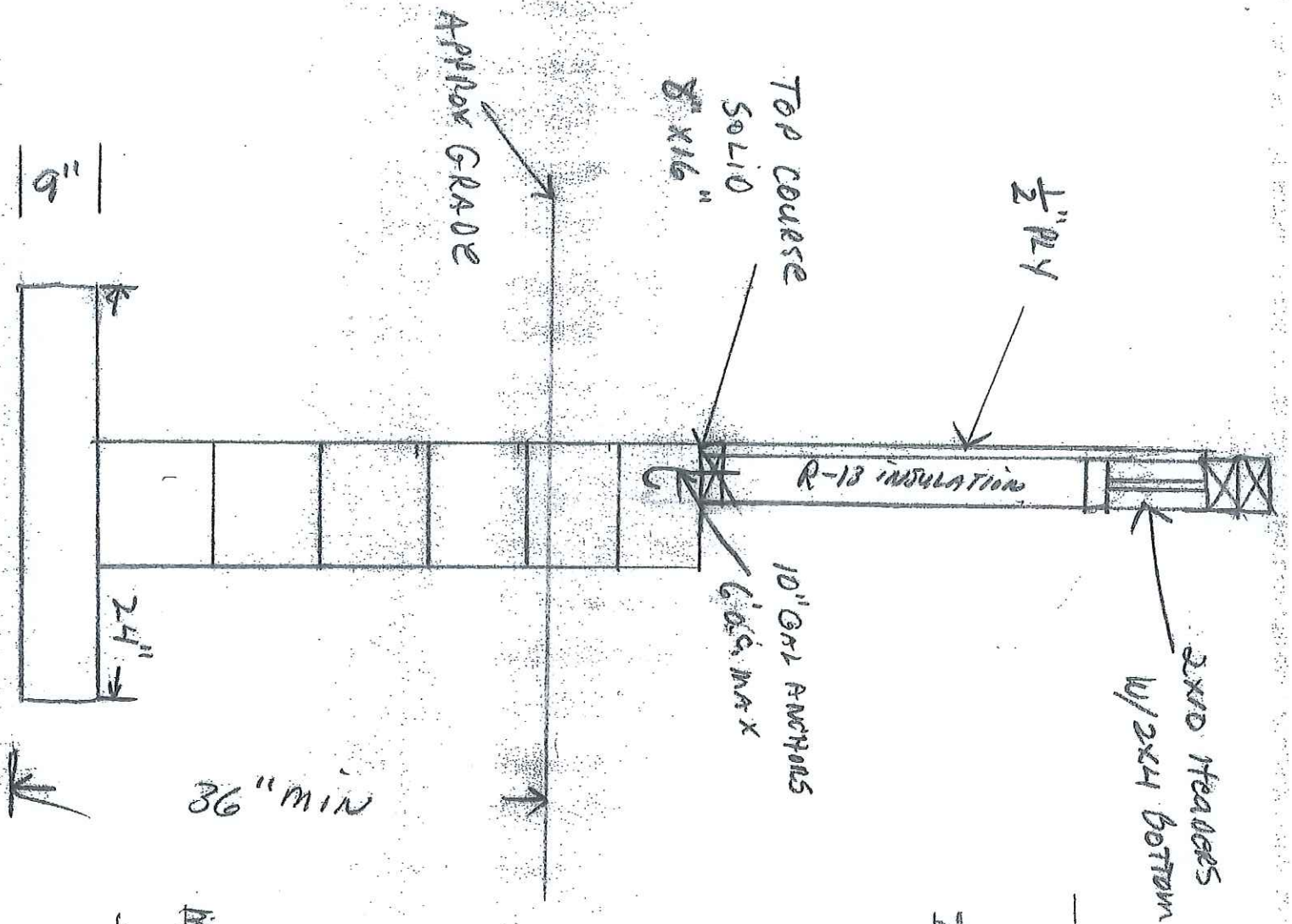


Figure 8

# Bathroom Vaulted Ceiling Details







CEILINGS W/ R-30

TRUSS DESIGN TO BE FAXED PRIOR TO FRAMING

MAYURESH KOTHARE

3837 POST DR. BETH PA



feet (4877 mm) radially from any point on the water surface.

## SECTION E4103 EQUIPMENT LOCATION AND CLEARANCES

**E4103.1 Receptacle outlets.** Receptacle outlets shall be installed and located in accordance with Sections E4103.1.1 through E4103.1.5. Distances shall be measured as the shortest path that an appliance supply cord connected to the receptacle could follow without penetrating a floor, wall, ceiling, doorway with hinged or sliding door, window opening, or other effective permanent barrier.

**E4103.1.1 Location.** Receptacles that provide power for water-pump motors or other loads directly related to the circulation and sanitation system shall be permitted to be located between 5 feet and 10 feet (1524 mm and 3048 mm) from the inside walls of pools and outdoor spas and hot tubs, and, where so located, shall be single and of the locking and grounding type and shall be protected by ground-fault circuit interrupters.

Other receptacles on the property shall be located not less than 10 feet (3048 mm) from the inside walls of pools and outdoor spas and hot tubs.

**E4103.1.2 Where required.** At least one 125-volt 15- or 20-ampere receptacle supplied by a general-purpose branch circuit shall be located a minimum of 10 feet (3048 mm) from and not more than 20 feet (6096 mm) from the inside wall of pools and outdoor spas and hot tubs. This receptacle shall be located not more than 6 feet, 6 inches (1981 mm) above the floor, platform or grade level serving the pool, spa or hot tub.

**E4103.1.3 GFCI protection.** All 125-volt receptacles located within 20 feet (6096 mm) of the inside walls of pools and outdoor spas and hot tubs shall be protected by a ground-fault circuit-interrupter.

**E4103.1.4 Indoor locations.** Receptacles shall be located not less than 5 feet (1524 mm) from the inside walls of indoor spas and hot tubs. A minimum of one 125-volt receptacle shall be located between 5 feet (1524 mm) and 10 feet (3048 mm) from the inside walls of indoor spas or hot tubs.

**E4103.1.5 Indoor GFCI protection.** One hundred twenty-five-volt receptacles located within 10 feet (3048 mm) of the inside walls of spas and hot tubs installed indoors shall be protected by ground-fault circuit-interrupters. One hundred twenty-five-volt receptacles located within 5 feet (1524 mm) of the inside walls of hydromassage bathtubs shall be protected by a ground-fault circuit-interrupter.

**103.2 Switching devices.** Switching devices shall be located not less than 5 feet (1524 mm) horizontally from the inside walls of pools, spas and hot tubs except where separated from the pool, spa or hot tub by a solid fence, wall, or other permanent barrier. Switching devices located in a room or area containing a hydromassage bathtub shall be located in accordance with the general requirements of this code.

**103.3 Disconnecting means.** An accessible disconnecting means to disconnect all ungrounded conductors for all utilization

equipment, other than lighting, shall be provided and located within sight from all pools, spas, and hot tub equipment, and shall be located not less than 5 feet (1524 mm) from the inside walls of the pool, spa or hot tub.

**E4103.4 Luminaires and ceiling fans.** Lighting outlets, luminaires, and ceiling-suspended paddle fans shall be installed and located in accordance with Sections E4103.4.1 through E4103.4.5.

**E4103.4.1 Outdoor location.** In outdoor pool, outdoor spas and outdoor hot tubs areas, luminaires, lighting outlets, and ceiling-suspended paddle fans shall not be installed over the pool or over the area extending 5 feet (1524 mm) horizontally from the inside walls of a pool except where no part of the luminaire or ceiling-suspended paddle fan is less than 12 feet (3658 mm) above the maximum water level.

**E4103.4.2 Indoor locations.** In indoor pool areas, the limitations of Section E4103.4.1 shall apply except where the luminaires, lighting outlets and ceiling-suspended paddle fans comply with all of the following conditions:

1. The luminaires are of a totally enclosed type; and
2. A ground-fault circuit interrupter is installed in the branch circuit supplying the luminaires or ceiling-suspended (paddle) fans; and
3. The distance from the bottom of the luminaire or ceiling-suspended (paddle) fan to the maximum water level is not less than 7 feet, 6 inches (2286 mm).

**E4103.4.3 Existing lighting outlets and luminaires.** Existing lighting outlets and luminaires that are located within 5 feet (1524 mm) horizontally from the inside walls of pools and outdoor spas and hot tubs shall be permitted to be located not less than 5 feet (1524 mm) vertically above the maximum water level, provided that such luminaires and outlets are rigidly attached to the existing structure and ground-fault circuit-interrupter protection is provided for the branch circuit that supplies such luminaires and outlets.

**E4103.4.4 Indoor spas and hot tubs.**

1. Luminaires, lighting outlets, and ceiling-suspended paddle fans located over the spa or hot tub or within 5 feet (1524 mm) from the inside walls of the spa or hot tub shall be a minimum of 7 feet, 6 inches (2286 mm) above the maximum water level and shall be protected by a ground-fault circuit interrupter.

Luminaires, lighting outlets, and ceiling-suspended paddle fans that are located 12 feet (3658 mm) or more above the maximum water level shall not require ground-fault circuit interrupter protection.

2. Luminaires protected by a ground-fault circuit interrupter and complying with Item 2.1. or 2.2. shall be permitted to be installed less than 7 feet, 6 inches (2286 mm) over a spa or hot tub.



## SWIMMING POOLS

- 2.1. Recessed luminaires shall have a glass or plastic lens and nonmetallic or electrically isolated metal trim, and shall be suitable for use in damp locations.
- 2.2. Surface-mounted luminaires shall have a glass or plastic globe and a nonmetallic body or a metallic body isolated from contact. Such luminaires shall be suitable for use in damp locations.

**E4103.4.5 GFCI protection.** Luminaires and outlets that are installed in the area extending between 5 feet (1524 mm) and 10 feet (3048 mm) from the inside walls of pools and outdoor spas and hot tubs shall be protected by ground-fault circuit-interrupters except where such fixtures and outlets are installed not less than 5 feet (1524 mm) above the maximum water level and are rigidly attached to the structure.

**E4103.5 Overhead conductor clearances.** Except where installed with the clearances specified in Table E4103.5, the following parts of pools and outdoor spas and hot tubs shall not be placed under existing service-drop conductors or any other open overhead wiring; nor shall such wiring be installed above the following:

1. Pools and the areas extending 10 feet (3048 mm) horizontally from the inside of the walls of the pool;
2. Diving structures; or

3. Observation stands, towers, and platforms.

Utility-owned, -operated and -maintained communications conductors, community antenna system coaxial cables and the supporting messengers shall be permitted at a height of not less than 10 feet (3048 mm) above swimming and wading pools, diving structures, and observation stands, towers, and platforms.

**E4103.6 Underground wiring.** Underground wiring shall not be installed under or within the area extending 5 feet (1524 mm) horizontally from the inside walls of pools and outdoor hot tubs and spas except where the wiring is installed to supply pool, spa or hot tub equipment or where space limitations prevent wiring from being routed 5 feet (1524 mm) or more horizontally from the inside walls. Where installed within 5 feet (1524 mm) of the inside walls, the wiring method shall be rigid metal conduit, intermediate metal conduit or a nonmetallic raceway system. Metal conduit shall be corrosion resistant and suitable for the location. The minimum raceway burial depth shall be in accordance with Table E4103.6.

## SECTION E4104 BONDING

**E4104.1 Bonded parts.** The following parts shall be bonded together:

**TABLE E4103.5  
OVERHEAD CONDUCTOR CLEARANCES**

	INSULATED SUPPLY OR SERVICE DROP CABLES, 0-750 VOLTS TO GROUND, SUPPORTED ON AND CABLED TOGETHER WITH AN EFFECTIVELY GROUNDED BARE MESSENGER OR EFFECTIVELY GROUNDED NEUTRAL CONDUCTOR (feet)	ALL OTHER SUPPLY OR SERVICE DROP CONDUCTORS (feet)	
		Voltage to ground	
		0-15 kV	Greater than 15 to 50 kV
A. Clearance in any direction to the water level, edge of water surface, base of diving platform, or permanently-anchored raft	22	25	27
B. Clearance in any direction to the diving platform	14	17	18
C. Horizontal limit of clearance measured from inside wall of the pool	This limit shall extend to the outer edge of the structures listed in Rows (A) and (B) above but not less than 10 feet.		

For SI: 1 foot = 304.8 mm.

**TABLE E4103.6  
MINIMUM BURIAL DEPTHS**

WIRING METHOD	UNDERGROUND WIRING (inches)
Rigid metal conduit	6
Intermediate metal conduit	6
Nonmetallic raceways listed for direct burial without concrete encasement	18
Other approved raceways	18

For SI: 1 inch = 25.4 mm.

- a. Raceways approved for burial only where concrete-encased shall require a concrete envelope not less than 2 inches in thickness.



*Fine Line Construction inc.*

## Contract

Additions--Decks--Windows and Doors--Kitchens--bathrooms--Basements--Roofing and Siding--Custom Homes	
1910 Skibo Rd. Hellertown Pa. 18055	
Office 610-746-0086	Cell Phone 610-972-1912

Residential and Commercial
----------------------------

Date
5/15/2006

E-mail
FineLinenaz@aol.com

Description	
Mr and Mrs Mayuresh Kothare 3837 Post Dr. Beth. Pa. 18017	contract for completion of the following;

1. excavation for a 2' x 9" concrete footer
2. Pour concrete footer as per code.
3. Lay concrete block with anchor bolts.
4. Lay 4" crushed stone and pour 4" concrete slab with wire mesh.
5. Frame garage with 2x4 walls, 1/2" plywood, prefab trusses.
6. Install 2-windows from existing garage, move garage doors, install all doors according to print. doors to be purchased by owner.
7. Install tyvek, vinyl siding to match existing, aluminum gutter and fascia, with vinyl soffit.
8. Install shingles, felt paper and drip edge.
9. Frame for bathroom and install plumbing for shower, vanity, and toilet. {homeowner to purchase and contractor to install and provide hookups.}
10. Install electrical as per code in bathroom and garage. lights to be installed as per print.
11. Drywall, tape and spackle ready for
12. Install trim as needed.

**CodeMaster**

INSPECTION SERVICES

P.O. Box 22831, Lehigh Valley, PA 18002 • 610-866-8808

**APPROVED**

3837 Post Dr  
Foundation

DATE

7/25/06

INSPECTOR

D-112



# Fine Line Construction inc.

## Contract

Additions--Decks--Windows and Doors--Kitchens--bathrooms--Basements--Roofing and Siding--Custom Homes	
1910 Skibo Rd. Hellertown Pa. 18055	
Office 610-746-0086	Cell Phone 610-972-1912

Residential and Commercial
----------------------------

Date
5/15/2006

E-mail
FineLinenaz@aol.com

Description	
Mr and Mrs Mayuresh Kothare 3837 Post Dr. Beth. Pa. 18017	contract for completion of the following;

13. Work to be completed in existing garage; frame opening from garage to house, raise door, install two larger windows, frame floor to match existing, install electrical as per code and provide drywall detail as per print.(homeowner to provide H.V.A.C)
14. Front of new garage will have brick to match existing.
15. Homeowner to pay for insulation for new garage walls and ceiling.
16. Homeowner to be responsible for all flooring.
17. Pour 10'x23' patio and 30"x 35' sidewalk.

TOTAL - \$53,350.00

Payment schedule- \$6000.00 at signing  
\$11,000.00 on start date.  
\$17,000.00 on completion of framing  
\$17,000.00 on completion of roofing, siding, and  
brick. (includes electrical, plumbing, drywall)  
Bal \$2,350.00 on completion and obtaining final  
inspections.

SIGNATURE M. V. Kothare

DATE 5/16/2006

SIGNATURE M. V. Kothare

DATE 5-16-06



3837 Post Drive, Bethlehem PA 18017  
Mayuresh & Simone Kothare

3837 Post Drive, Bethlehem PA 18017  
Mayuresh & Simone Kothare

Walter R. Ransom

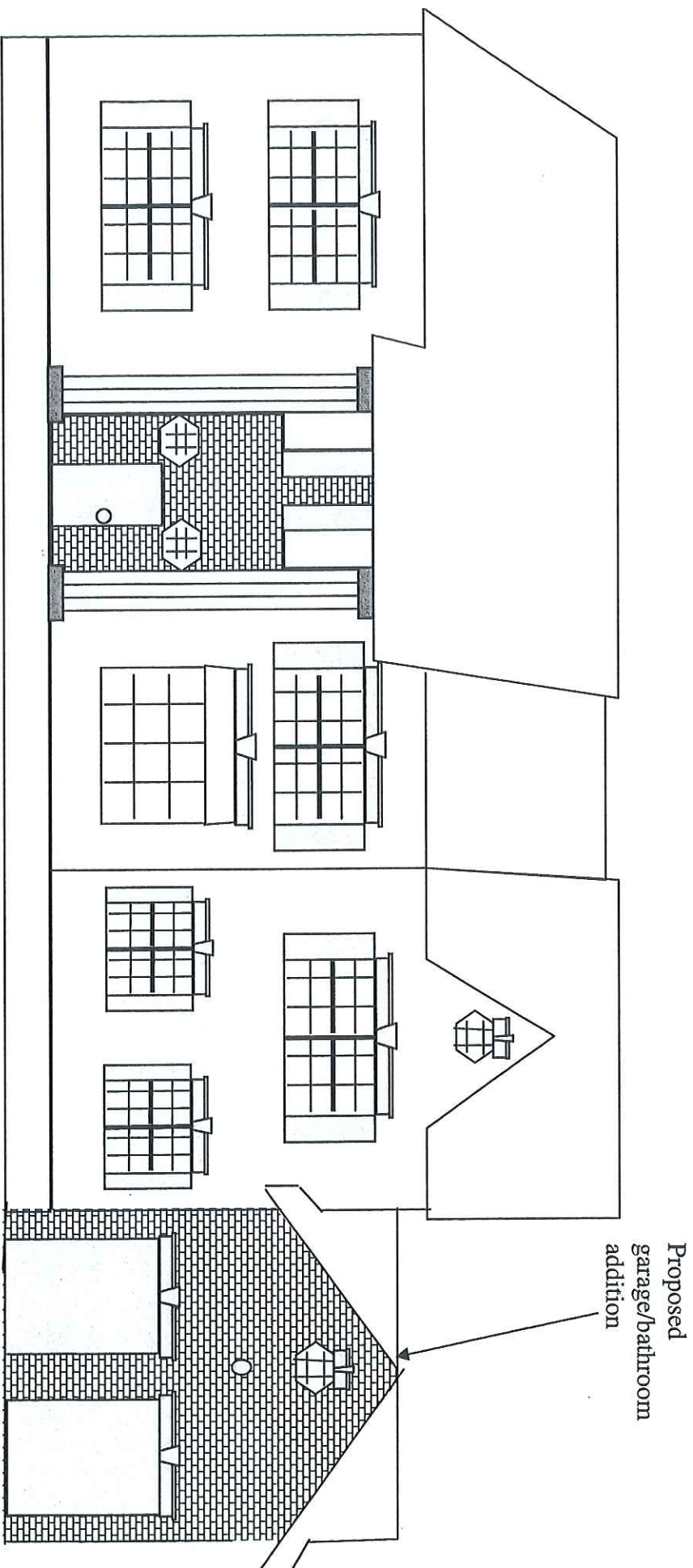
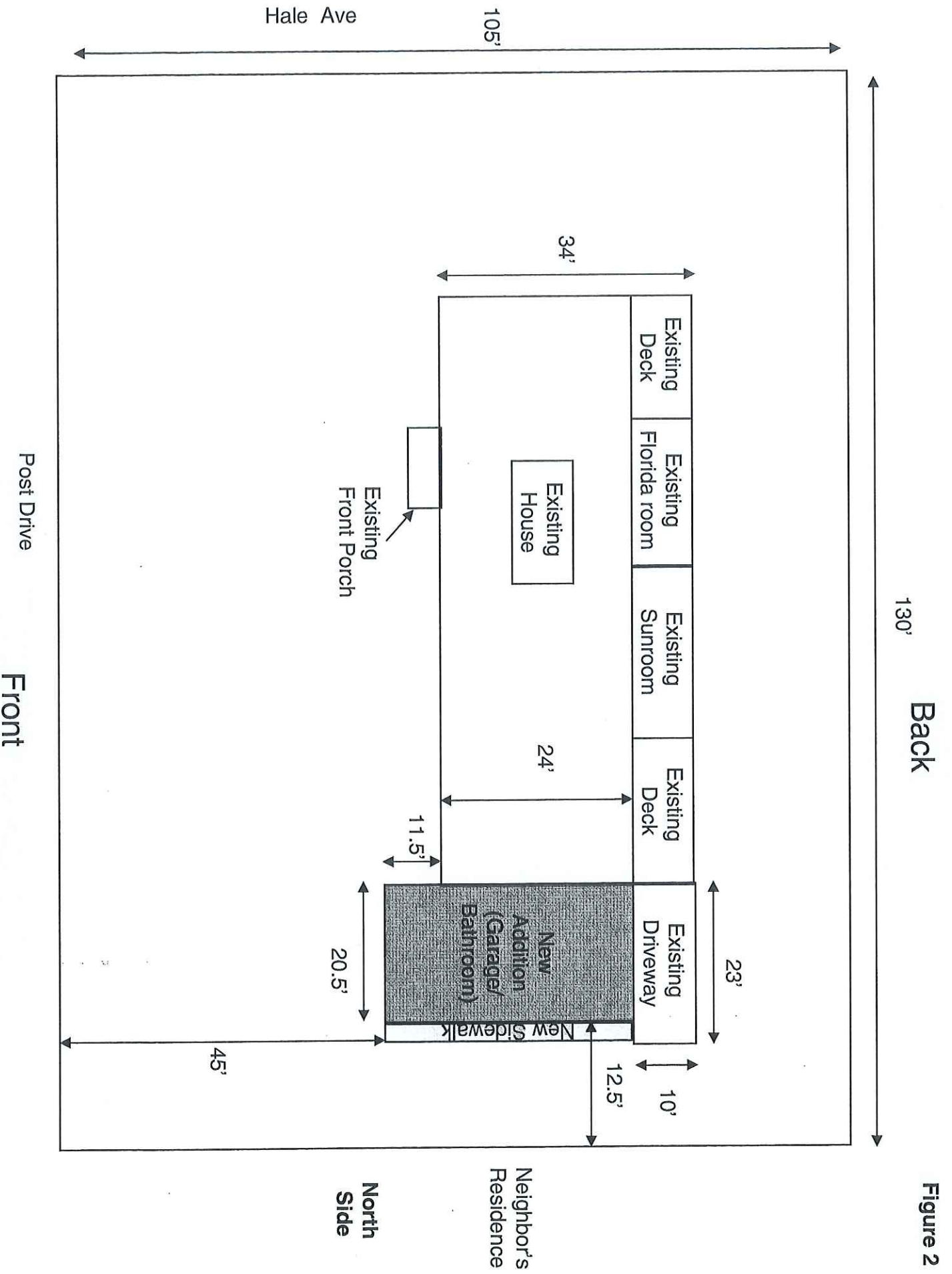




Figure 2





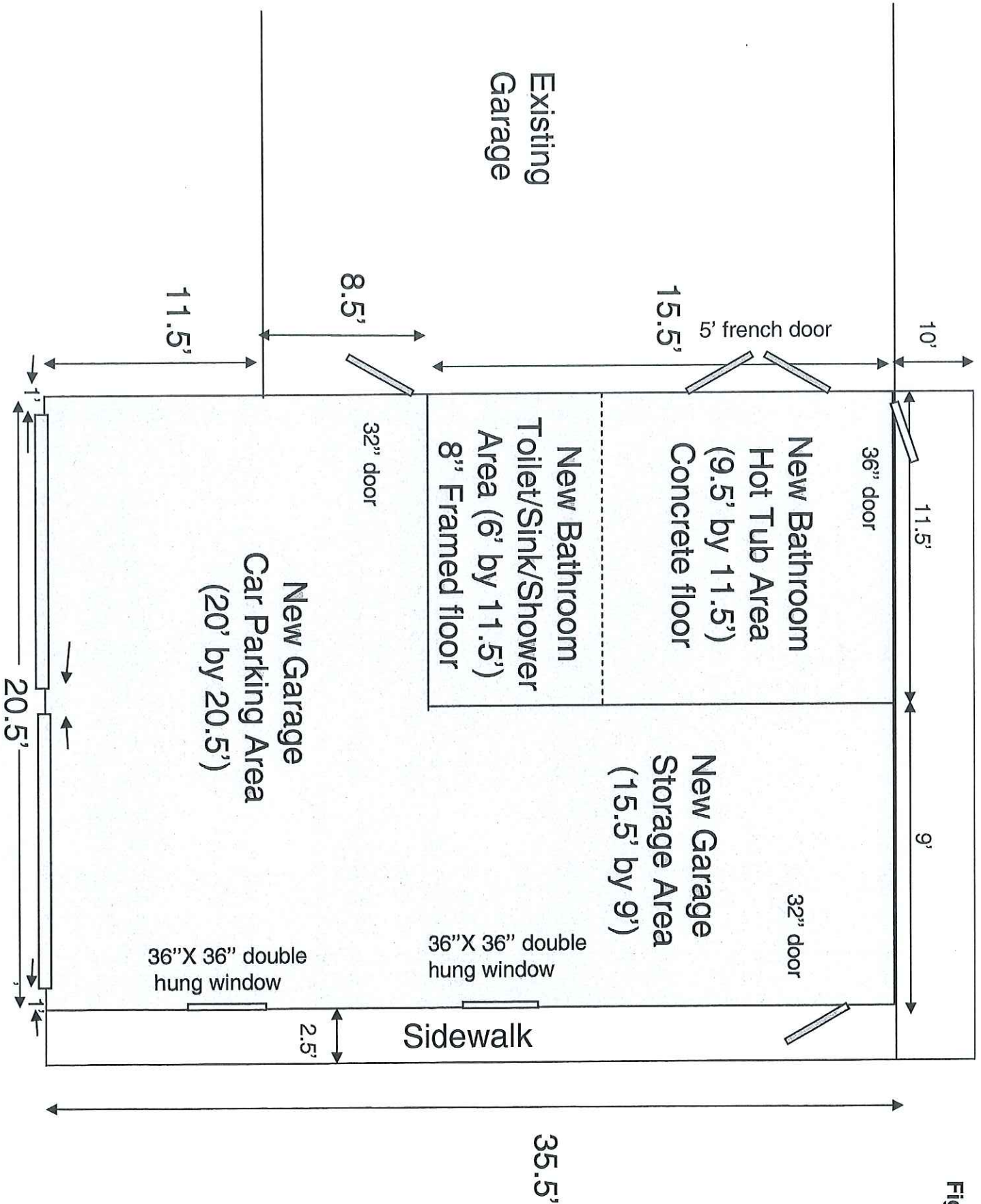


Figure 3



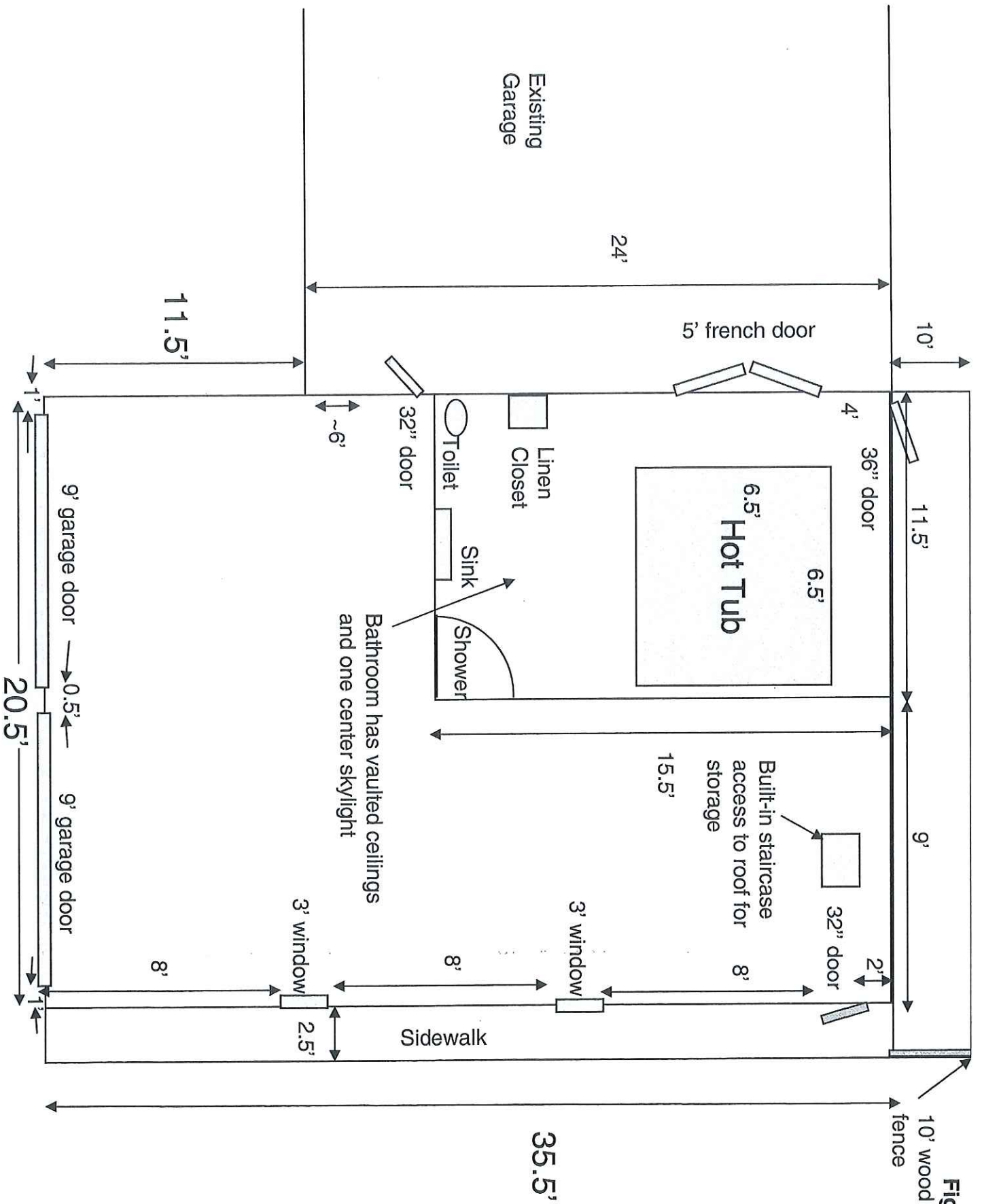


Figure 4



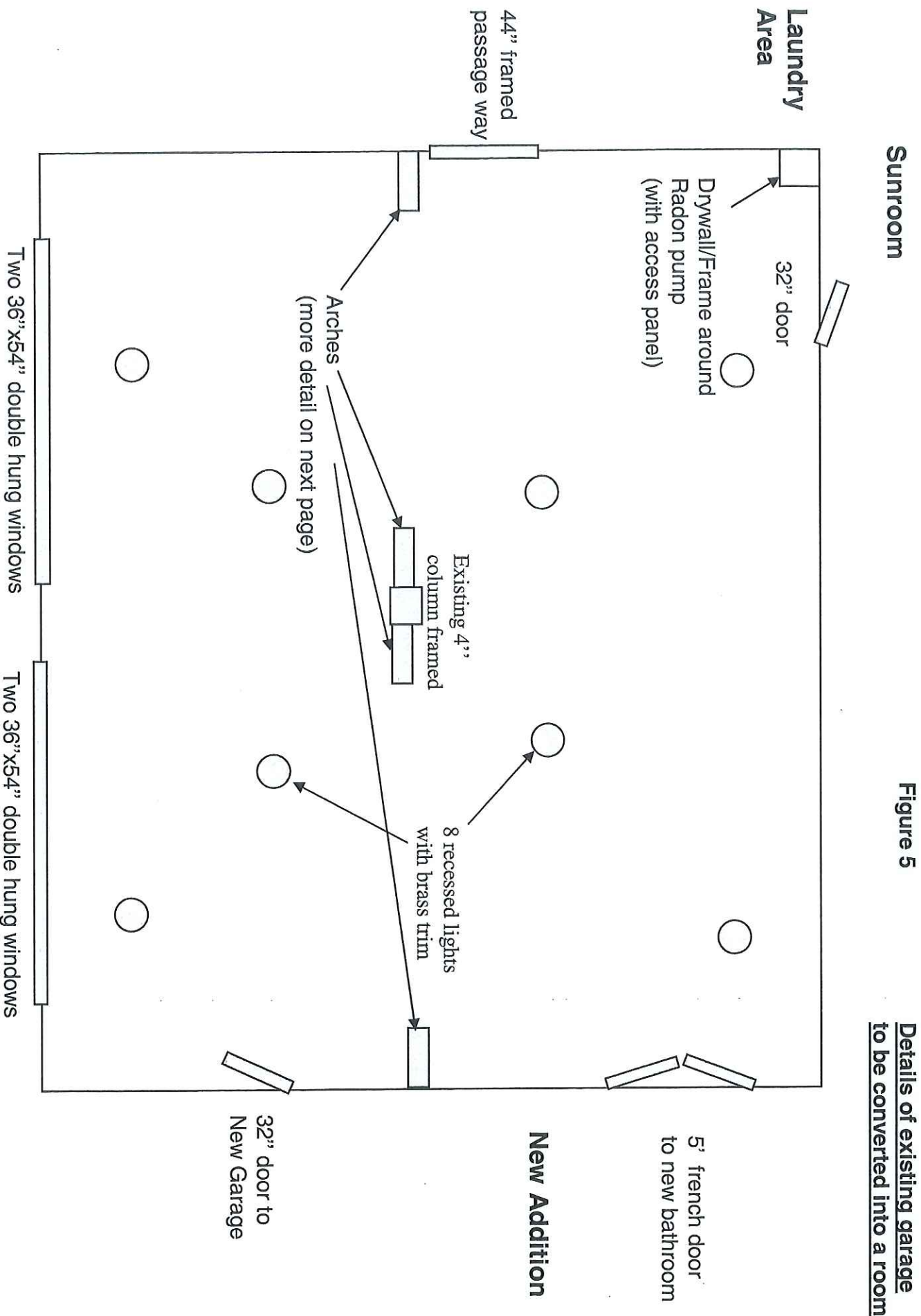
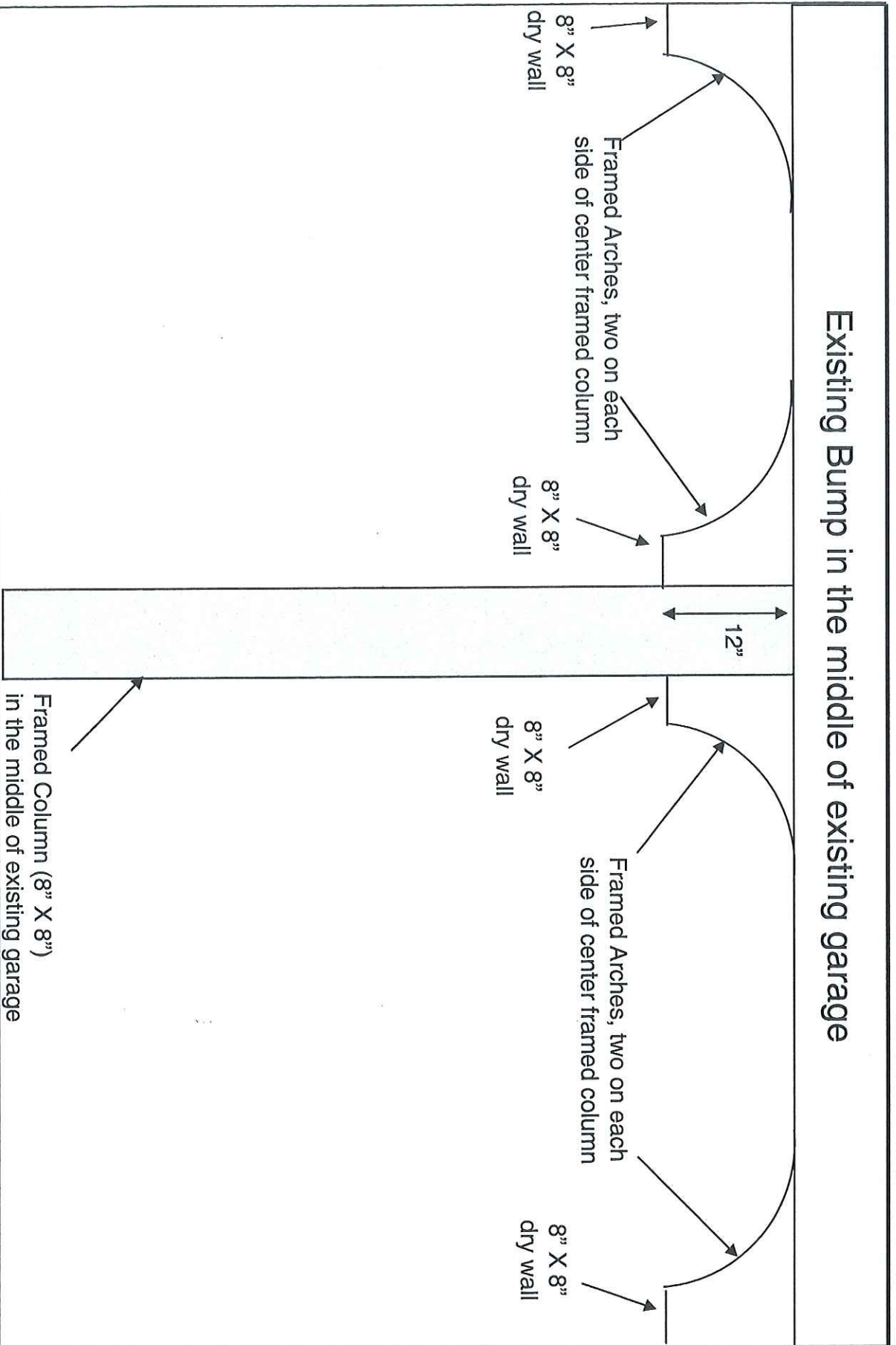




Figure 6





North side view of house  
3837 Post Drive, Bethlehem PA 18017  
Mayuresh & Simone Kothare

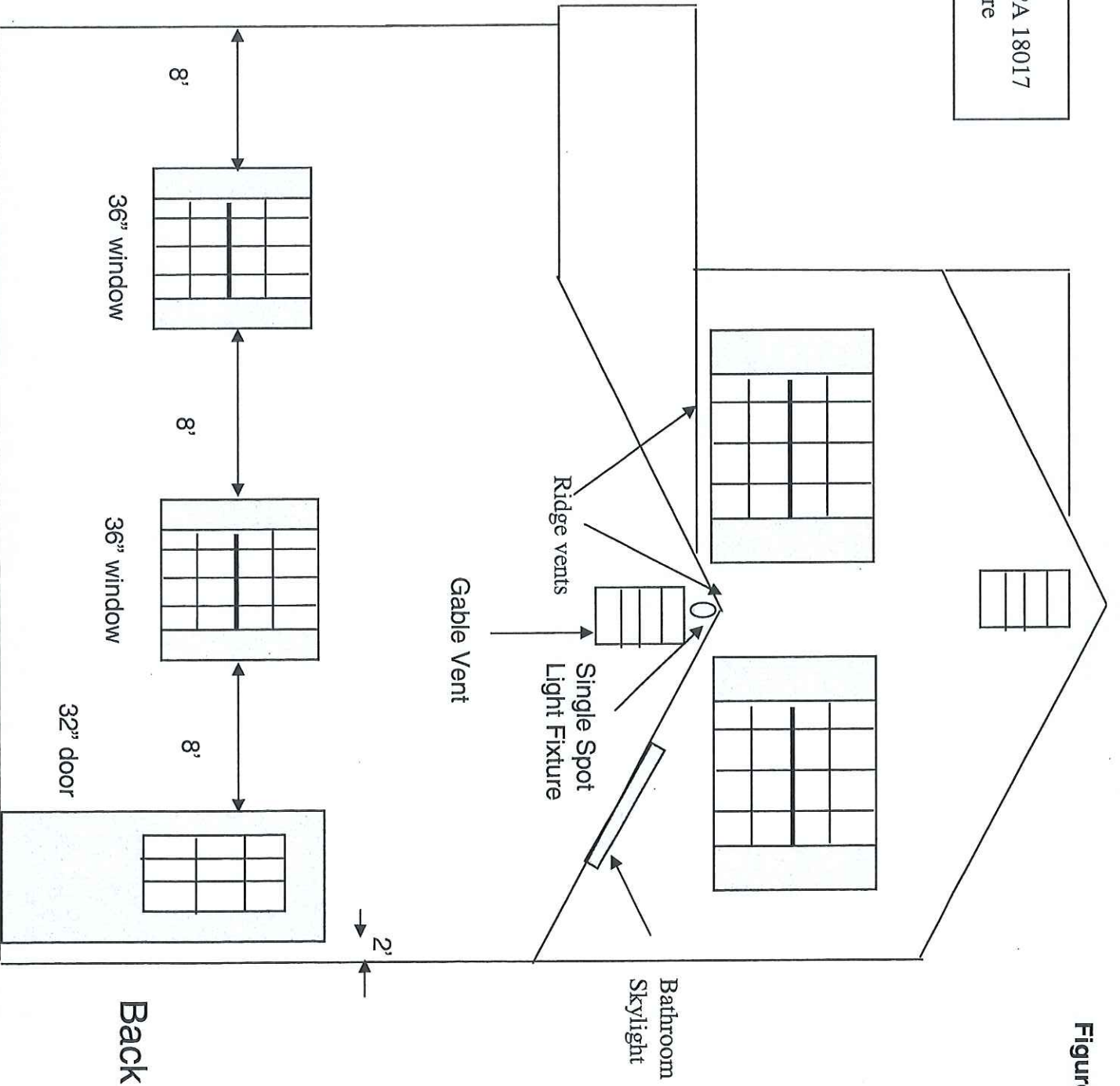
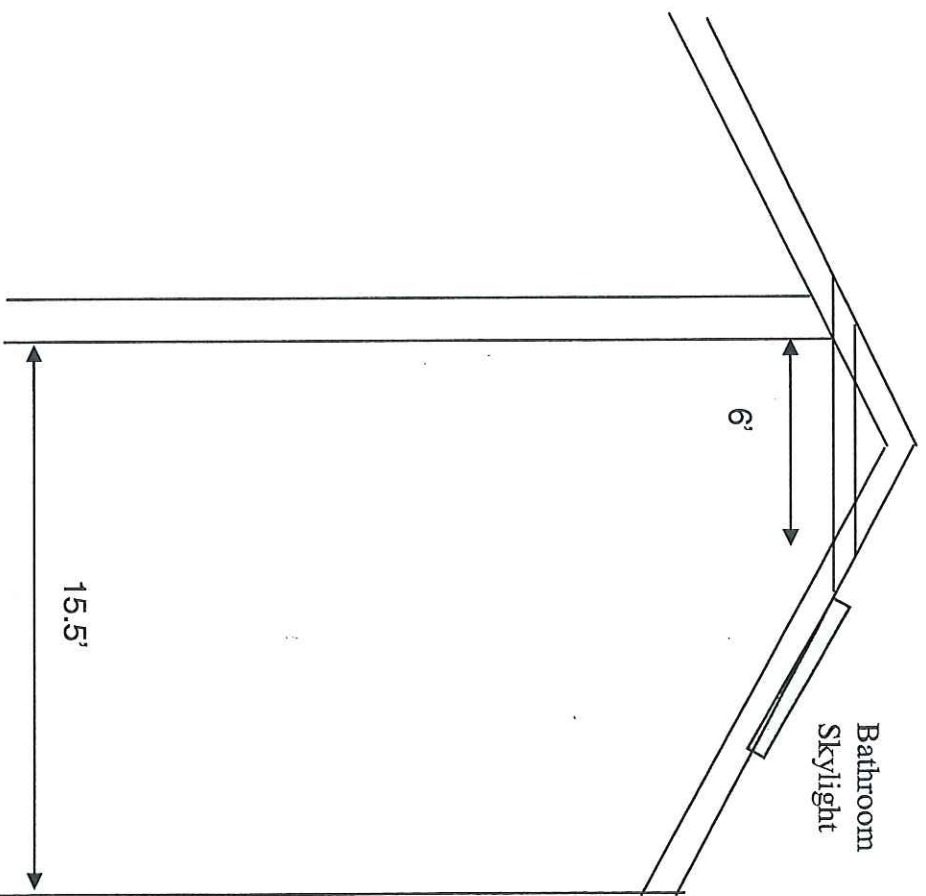


Figure 7



Figure 8

# Bathroom Vaulted Ceiling Details





*MR Kothare*  
*M/aid & Plumber*

First floor room addition of garage and bathroom  
3837 Post Drive, Bethlehem, PA 18017  
Mayuresh & Simone Kothare  
(610) 882 9529

**Project details:**

The proposed addition will be on the first floor, attached to the existing garage, occupying part of the area currently covered by the driveway. The addition comprises a 2-car garage and a bathroom. The project involves construction of a sidewalk on the side of the addition and a concrete patio on the back. The approximate area of the addition is 728 square feet and will be divided into a 550 sq ft garage and a 178 sq ft bathroom.

**Requirements for the room addition:**

**Concrete/Masonry Contractor**

- 1) Remove driveway asphalt to prepare ground for the proposed addition, the patio and the sidewalk (1047 sq ft of asphalt will be removed).
- 2) Dig hole for the foundation and the walls of the addition (the concrete walls for the addition will be two walls of 20.5', one wall of 11.5' and one wall of 35.5').
- 3) Build concrete foundation walls for the addition using concrete blocks and fill rest with concrete (4'' or 5'' of depth, in accordance to Hanover township regulations).
- 4) Build concrete patio and sidewalk. Concrete patio will be 10' X 23'. Sidewalk will be 2.5' X 35.5'.
- 5) Install brick in the front of the garage (as shown in Figure 1) to match brick in the front porch (color and pattern).
- 6) Cut a narrow opening into concrete in the existing garage for plumbing from new bathroom to basement and vice-versa. Plumber will instruct to orientation and length of cut. Fill hole with concrete after plumber runs the plumbing lines.

**General Contractor**

**PART I: GARAGE/BATHROOM FRAMING**

- 1) Frame the 35.5' X 20.5' addition with 4'' walls. The addition will be divided into a garage and a bathroom as shown in Figures 3 and 4.
- 2) Frame a 11.5' X 15.5' area inside the addition. This smaller area will be a bathroom. Refer to Figures 3 and 4.
- 3) Remove garage doors and openers from existing garage and install them in the new garage.
- 4) Install a 32'' door (provided by owner) in the north wall of the new garage. Refer to Figure 7.
- 5) Remove the two windows in the existing garage and install them in the north wall of the new garage. Refer to Figure 7.
- 6) Install a pre-hung 36'' door (provided by owner) in the back of the addition. Refer to Figure 4.
- 7) Install a 5' pre-hung French door (provided by owner) from the existing garage to the new bathroom.
- 8) Install a 32'' door (provided by owner) from the existing garage to the new one.
- 9) Frame the roof of the new addition. The roof will be composed of two parts. The 24' X 20.5' part next to the old garage will have the same orientation and pitch as the existing house roof. The roof of the front 11.5' X 20.5' protruding area will have a gable roof that will cross into the back roof. This front gable roof will have the same pitch as the existing gable roof in front of the house.
- 10) Install ridge vents for the two parts of the roof.
- 11) Install a gable vent (matching the one on the second floor) on the north side of the house. Refer to



Figure 7.

- 12) Install an octagonal window (provided by owner) in the attic space of the gable roof, in front of the house. Refer to Figure 1.
- 13) Install Velux skylight (provided by owner) above the hot tub. Refer to Figure 8.
- 14) Install standard gutters, flashing where the new roof meets the house, ice breakers, soffits, aluminum cladding, etc. to match the gutters and flashing of the house
- 15) Install roof shingles to match existing shingles. Shingle should be Tamco's "Rustic Black" (available at Bradco).
- 16) Insulate the ceiling with R30.
- 17) Install hurricane ties and all other framing construction requirements dictated by Hanover township.
- 18) Install siding (grey) to match existing siding (available at Home Depot).
- 19) Install R13 insulation in the garage walls. Use TYVEK for wind protection on the outside.
- 20) Install an attic door with stepladder in the garage ceiling above the storage area.
- 21) Install plywood floors in the new garage roof for attic.
- 22) Finish with drywall and use white paint-ready colonial trimming and base casing in new garage and stain-ready colonial trimming and base casing in the bathroom and existing garage to match existing house trimming.

## **PART II: Bathroom work**

- 1) Partially frame the floor of the newly added bathroom with 2" X 6" wood and insulate. Floor should be level with floor of existing house. The area to be framed is 6' X 11.5'. The remaining bathroom floor will remain at the concrete level to hold the hot tub.
- 2) Install a 78" by 78" hot tub in the concrete area of the bathroom.
- 3) Bathroom will have a vaulted ceiling above the hot tub only. Ceiling should become flat above the 6' x 11.5' shower/sink/toilet area. Figure 8 shows the ceiling configuration and the skylight.
- 4) Bathroom tile flooring will be installed by owner.
- 5) Install plumbing for the new bathroom. Connect the new drainage plumbing to the existing plumbing in the crawl space under the laundry room, exchanging the existing 2" for 3" PVC pipe. The 3" PVC pipe should slope partially within the floor space in the newly framed floor in the existing garage and partially within the concrete hole made by the concrete contractor.
- 6) Connect bathroom hot and cold water supply lines to supply lines in the crawl space under the laundry room.
- 7) Install bathroom fixtures (one sink cabinet, sink faucet, one linen closet, one corner shower stall, shower fixtures and toilet).
- 8) All trimming will be colonial and base casing will match with first floor stain-ready trimming.

## **PART III: Existing Garage change to living space**

- 1) Frame for two new insulated double windows (Andersen double windows, each of size 72" X 54" identical to the second floor windows above the existing garage) in the front of the existing garage.
- 2) Install shutters and headers for new windows (provided by owner).
- 3) Frame and drywall around the radon pump in the existing garage and install a paintable access panel for the pump. Also install a paintable access panel for the gauge.
- 4) Frame and drywall around the column in the center of the existing garage. The frame should have an 8" x 8" square cross section. Also frame and drywall an arch from the framed column to the ceiling on both sides. Frame and drywall arches from the side walls of the garage towards the ceiling. Refer to Figure 6.
- 5) Frame the floor and attach plywood to match the floor level in the first floor of the house. Account for the fact that owner will install ¾" plywood flooring.
- 6) Insulate the floor with R19 insulation.



- 7) Re-frame the door way of the existing garage to the sunroom to elevate the door above the newly built floor. Install a pre-hung 32'' door (provided by owner).
- 8) Open and frame an 80'' x 44'' passage way between the family room and the existing garage. This passage way should be trimmed to match other passage ways in the first floor of the house with stain-ready wood.
- 9) Remove the existing door and trimming between the laundry area and the existing garage. Frame, drywall and spackle to conceal the hole.
- 10) Spackle and sand the drywall in the new garage, new bathroom as well as repairs in the existing garage that may be necessary due to HVAC and electrical work. Drywall should be left ready for painting.
- 11) All trimming in existing garage should be stain-ready. All trimming should match existing colonial trimming in the house (including base casing).

## **Electrical Work**

### ***Existing garage rewiring***

- 1) Install eight 6'' recessed lights with brass trimming in the existing garage. Refer to Figure 5.
- 2) Install regular 110 V outlets in the existing garage as required by code. Currently, the room has one outlet.
- 3) Install one cable line in the center of the back wall of the existing garage. Connect from cabling in the crawl space of the family room.
- 4) Install one smoke detector in the existing garage.

### ***Bathroom wiring***

- 1) Install a light/vent fixture (provided by owner) in the bathroom, centered above shower/sink/toilet area.
- 2) Install four 6'' recessed lights with brass trimming, two centered over the hot tub area, two centered over the shower/sink/toilet area. The two fixtures above the hot tub area should have adjustable tilt since they will be installed on the vaulted ceiling (these fixtures should match the ones in the second floor of the house – available at Lowe's).
- 3) Install one light fixture (provided by owner) above the sink.
- 4) The bathroom should have a switch for the vent/light fixture, one for each pair of recessed lights in the ceiling and one for the light above the sink.
- 5) Install a 220 V outlet in the bathroom for connection of the hot tub.
- 6) Install regular 110V outlets in the bathroom as required by code.

### ***New Garage Wiring***

- 1) Install a new electric sub-panel in the new garage to accommodate for the added rooms. Electric panel should be connected to the main panel in the house basement.
- 2) Install two outlets in the new garage, one in the back wall and one in the front wall, between the garage doors. Install an outdoor outlet in the garage wall on the south side. Install an outdoor outlet in the center of the back wall of the garage.
- 3) Install three lights in the new garage, one above each of the two car parking spaces and one in the storage area. Refer to Figure 3 for what is called the storage area and the car parking area. There should be one switch for the two lights above the car parking spots and one switch for the light in the storage area.
- 4) Provide switch connections and appropriate wiring for installing the garage door openers and the infrared garage sensors.
- 5) Remove the outdoor light on the north side of the house and re-install it between the two garage doors in the new garage.
- 6) Install a single flood light fixture on the north wall of the new garage close to the roof peak to



overlook the sidewalk. Refer to Figure 7.

- 7) Install a double flood light in the center of the back wall of the addition, close to the roof.

#### **HVAC Work**

- 1) Extend HVAC duct work from existing garage into the new bathroom, install air and return vents in existing garage. Install air vent in the new bathroom (no return vent).

#### **Other Work**

- 12) Install 10' wood fence (provide by owner) on the edge of the concrete patio, on the north side.
- 13) Repair siding on the south wall of the house (10 strips of siding to be replaced, 24' wide).



### Smaller Project:

- Remove the ceiling drywall and wood framing above the stairway from the first to the second floor to open the space above the stairway.
- The ceiling frame and the drywall for the area above the stairway should be made even with the second floor ceiling.
- The frame and drywall for the second floor office that will be exposed when this change is made should be removed and a 4' wide wood railing should be installed.
- New drywall should be spackled and be ready for painting. The railing should be stain-ready and match the stairway bottom railing.
- Install one 6" recessed light fixture with brass trimming in the center of the ceiling above the stairway. Connect it to the existing light fixture in second floor passage way so that a new switch is not required.

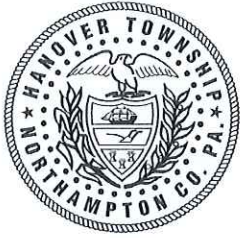
*Not included in scope work*

### Notes:

All materials and hardware will be provided by contractor, except the following which will be provided by owner:

- Two small windows and corresponding shutters and headers for the new garage which are the ones removed from the existing garage
  - Octagonal gable glass window for front provided by owner.
  - Door between new and existing garage which is the existing one from the laundry to the existing garage.
  - Shutters and headers for the two new Andersen windows
  - Door from new garage to the outside which will be the door currently between the existing garage and the sunroom
  - Velux skylight for bathroom.
  - Building permit from township (not including electrical/plumbing/HVAC).
  - New door from the new bathroom to the outside, on the back.
  - New door from existing garage to the sunroom.
  - Hot Tub
  - Light/vent fixture for bathroom
  - 10' wood fence.
  - Bathroom fixtures (sink, sink cabinet, shower stall, sink faucet, shower head and faucet, toilet, light fixture above sink cabinet, linen closet)
  - All doors provided by owner will be of standard 80" height.
- (1) General contractor will obtain electrical and plumbing permits. HVAC contractor will obtain HVAC permit.
  - (2) General contractor will get the recessed light fixtures for the existing garage and bathroom.
  - (3) General contractor agrees to remove trash every day to keep yard and workspace clean.
  - (4) Use driveway for all work and keep all material and trucks clear of the lawn.
  - (5) Protect remaining driveway as much as possible to prevent excessive damage, especially when doing the concrete work (cover driveway with plywood planks when heavy concrete trucks drive on it).
  - (6) Provide copy of contractor's insurance coverage.
  - (7) Provide warranty details (one year labor).





**BOARD OF SUPERVISORS**  
**Zoning & Code Enforcement**  
*Hanover Township Northampton County*  
3630 Jacksonville Road  
Bethlehem, Pennsylvania 18017-9302  
610.866.1140  
Fax 610.758.9116

John J. Finnigan, Jr., Township Manager  
Yvonne D. Kutz, Zoning Officer – B.C.O.

October 19, 2023

To: Board of Supervisors  
John J. Finnigan, Jr  
Kimberly Lymanstall  
Barbara Baldo  
Joseph Moeser  
Brian Dillman  
Ted Lewis, Esquire  
Jim Broughal, Esquire  
Brien Kocher, HEA

RE: Zoning Petition: 23ZHB1<sup>5</sup>  
Applicant: Eihab Riad, Naglaa Riad  
Property location: 5637 Falcon Dr, Bethlehem PA 18017  
Zoning District: R1-S

Enclosed is a copy of the application received October 19, 2023, seeking relief from the setback provisions of the Ordinance for an installed covered deck constructed in a rear yard setback.

The next meeting is tentatively scheduled 7:00 PM Thursday, November 16, 2023. Notice of Hearing to follow.

*Yvonne D. Kutz*





# HANOVER TOWNSHIP, Northampton County

3630 Jacksonville Rd, Bethlehem PA 18017

Phone 610-866-1140 Fax 610-758-9116

## PETITION

232H/315

NOTICE: This Petition, in order to be acted upon by the Zoning Hearing Board must be fully completed in accordance with the "instructions to applicant." Failure to do so will result in a denial of the Petition without refund of your filing fee.

Application is made this 17 day of October, 2023

### I. **PROPERTY INFORMATION** (location and existing conditions for which a special permit is being applied):

1. Address of property for which a special permit is requested: 5637 Falcon Drive  
Bethlehem PA 18017
2. Tax Parcel No.: LG 15 10-105 0214
3. Current Zoning Classification: R1-S
4. The Dimension of the land area are: 133.25 X 129.17 corner lot
5. The real estate contains 17,334 square feet.
6. The real estate in question is presently classified under the Hanover Township Zoning Ordinance as:  
Single family home  
(a) The real estate is presently used for the purpose of: \_\_\_\_\_  
(b) and contains buildings and other improvements consisting of (if real estate is vacant land, so note): \_\_\_\_\_

### II. **OWNER INFORMATION**

1. Owner of property: Eihab Riad, Naglaa Riad Telephone 484-821-6712  
(all parties to the title must be listed, attach additional page if needed)  
Address 5637 Falcon Drive Bethlehem PA 18017

### III. **APPLICANT INFORMATION** (herein after known as the "Petitioner")

1. Applicant ("Petitioner(s)") Eihab Riad, Naglaa Riad Telephone 484-821-6712  
(all parties must be listed, attach additional page if needed)  
Address 5637 Falcon Drive Bethlehem PA 18017
2. Petitioner is the (check one or more)  
☒ Owner ☐ Occupant ☐ Agent for: \_\_\_\_\_ ☐ Other: \_\_\_\_\_
3. Attorney representing Petitioner(S): \_\_\_\_\_ Telephone \_\_\_\_\_  
Address \_\_\_\_\_
4. Petitioner: (check appropriate action)  
☐ Hereby appeals from the decision of the Zoning Administrator, or other township Official; or  
☒ Hereby applies for a special exception or permit, or variance, from the terms of the Zoning Ordinance; or  
☐ Hereby applies for: \_\_\_\_\_
5. Petitioner appeals or makes application from the order, requirement, decision or determination of the Zoning Administrator or other Township Official made on September 25, 2023, which was as follows: (quote, or if insufficient space, attach additional page). \_\_\_\_\_



FOR INDIVIDUAL PETITIONERS:

COMMONWEALTH OF PENNSYLVANIA )  
 ) ss:  
COUNTY OF NORTHAMPTON )

**ON THIS**, the 10 day of 17, 2023, before me, \_\_\_\_\_  
\_\_\_\_\_ the undersigned officer,  
personally appeared, \_\_\_\_\_,  
known to me (or satisfactorily proven) to be the person whose name (is)(are) subscribed to the within instrument, and  
acknowledged that he executed the same for the purposes therein.

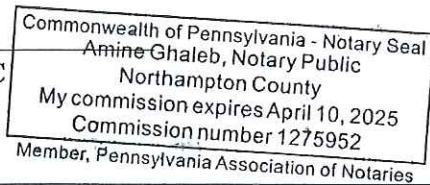
**IN WITNESS WHEREOF**, I hereunto set my hand and official seal.

Eduardo Riad (SEAL)  
Signature of the Petitioner taking affidavit

Sworn to and subscribed before me

This 10 day of 17 2023

[Signature]  
NOTARY PUBLIC



FOR CORPORATE PETITIONERS:

COMMONWEALTH OF PENNSYLVANIA )  
 ) ss:  
COUNTY OF \_\_\_\_\_ )

**ON THIS**, the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, \_\_\_\_\_  
\_\_\_\_\_ the undersigned officer,  
personally appeared, \_\_\_\_\_,  
who acknowledged \_\_\_\_\_ self to be the \_\_\_\_\_ of  
\_\_\_\_\_, a corporation, and that he as such \_\_\_\_\_ being  
authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the  
corporation by \_\_\_\_\_ self as \_\_\_\_\_.

**IN WITNESS WHEREOF**, I hereunto set my hand and official seal.

\_\_\_\_\_  
Signature of the Petitioner taking affidavit

Sworn to and subscribed before me

This \_\_\_\_ day of \_\_\_\_ 20 \_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC



ORDINANCE NO. 23-\_\_

**AN ORDINANCE OF THE BOARD OF SUPERVISORS OF THE  
TOWNSHIP OF HANOVER, COUNTY OF NORTHAMPTON,  
COMMONWEALTH OF PENNSYLVANIA AMENDING THE  
TOWNSHIP OF HANOVER'S CODE OF CODIFIED ORDINANCES,  
CHAPTER 159 SUBDIVISION AND LAND DEVELOPMENT, ARTICLE  
II INTERPRETATION AND ARTICLE V PLAN REQUIREMENTS AND  
REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES  
INCONSISTENT HEREWITH.**

**WHEREAS**, The Supervisors of Hanover Township, Northampton County, Pennsylvania (the "Board"), under the powers vested in them by the "Second Class Township Code" of Pennsylvania as well as other laws of the Commonwealth of Pennsylvania, do hereby enact and ordain the following amendments to the text of the Hanover Township Code of Codified Ordinances (the "Ordinances"); and

**WHEREAS**, Hanover Township (the "Township"), along with nine other municipalities are members of the Nazareth Area Council of Governments (the "NazCOG Municipalities"); and

**WHEREAS**, the Board adopted the Nazareth Area Multi-Municipal Comprehensive Plan Implementation Agreement (the "Agreement") at its regularly scheduled meeting on August 22, 2023 via Resolution 2023 – 26; and

**WHEREAS**, the Agreement provides that NazCOG Municipalities adopt certain amendments to their respective subdivision and land development ordinances ("SALDO"); and

**NOW, THEREFORE, BE IT ORDAINED AND ENACTED**, by the Board of Supervisors of Hanover Township, Northampton County, Pennsylvania as follows:

**SECTION 1.** Chapter 159 *Subdivision and Land Development*; Article II *Interpretation* § 159-6 *Definitions and word usage*, is amended to add the following:

**"DEVELOPMENT OF REGIONAL SIGNIFICANCE**



Any Land Development that, because of its character, magnitude or location, will have substantial effect upon the health, safety or welfare of citizens in more than one of the NazCOG Municipalities.”

**SECTION 2.** Chapter 159 *Subdivision and Land Development*; Article V *Plan Requirements*; § 159-29 *Preliminary Plan*; Subsection E. *Other required supporting documents* is amended to add the following:

“(10) Developers and subdividers of land must furnish either (i) a statement that the preliminary plan is not a Development of Regional Significance under the SALDO, or (ii) if it is a Development of Regional Significance, a signed letter showing the dates upon which copies of the subdivision or land development plan and supporting documentation have been delivered to each of the other NazCOG municipalities.

(a) Copies of professional reviews prepared by one of the NazCOG Municipalities shall also be forwarded to the other NazCOG Municipalities upon receipt.

(b) In acting on the subdivision and/or land development plans, the host NazCOG Municipality shall consider the comments provided by the other NazCOG Municipalities.

(11) Upon submission to the host NazCOG Municipality, the Planning Administrator or other designated Municipal staff member shall verify that plan is delivered in accordance with the SALDO definition of a Development of Regional Significance, and that the Developer has correctly executed the requirements of Subsection (10) above. If in accord, and all other Municipal submission requirements are satisfied, the developer’s plan shall be accepted for review by the Municipality.

(12) Upon receipt of a plan which is a Development of Regional Significance that was submitted to another NazCOG Municipality, the Planning Administrator shall add the plan to the



agenda of the next available Planning Commission meeting and notify the members of the Municipal governing body.”

**SECTION 3.** All Ordinances and parts of Ordinances inconsistent herewith are hereby repealed.

**SECTION 4.** The provisions of this Ordinance shall be severable and if any provision thereof shall be declared unconstitutional, illegal or invalid, such decision shall not affect the validity of any of the remaining provisions of this Ordinance. It is hereby declared as a legislative intent of the Township that this Ordinance would have been enacted had such unconstitutional, illegal or invalid provision(s) not been included herein.

**SECTION 5.** This Ordinance shall become effective within five (5) days of enactment.

**ENACTED AND ORDAINED** at a regular meeting of the Board of Supervisors of the Township of Hanover, County of Northampton on this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

**ATTEST:**

**BOARD OF SUPERVISORS,  
HANOVER TOWNSHIP,  
NORTHAMPTON COUNTY,  
PENNSYLVANIA**

By: \_\_\_\_\_  
**KIMBERLY LYMANSTALL,**  
Secretary

By: \_\_\_\_\_  
**JOHN N. DIACOGIANNIS,**  
Chairman





**DALLAS PULLIAM**  
VP, Real Estate

707 Hamilton St, 9<sup>th</sup> Floor  
Allentown, PA 18101

ph. 484-862-3168  
fax: 484-862-3725  
Dallas.Pulliam@lvhn.org  
LVHN.org

**October 11, 2023**

**VIA FedEx  
Board of Supervisors  
Hanover Township  
3630 Jacksonville Road  
Bethlehem, PA 18017-9302**


**Re: Schoenersville Road Development Lot Consolidation  
(Township Engineer File No.: Hanover Project H21-16)**

**Ladies and Gentlemen,**

**Please allow this letter to confirm on behalf of Lehigh Valley Health Network that it is formally withdrawing the prior application and plan entitled "Schoenersville Road Lot Consolidation". Kindly withdraw and remove this matter from further consideration by the Township and its Planning Commission. Should you have any questions, please do not hesitate to contact me.**

**Respectfully,**

**Lehigh Valley Health Network**

By:  \_\_\_\_\_

**Dallas Pulliam, Vice President, Real Estate**

**CC/ John J. Finnigan, Jr., Township Manager  
Yvonne Kutz, Zoning Officer  
S. Graham Simmons, III, Esq. (email only)  
Nate Oiler, PE (email only)**





October 20, 2023

John J. Finnigan, Jr.  
Hanover Township  
Hanover Township Board of Supervisors  
3630 Jacksonville Rd  
Bethlehem, PA 18017

Dear Jay,

It is with anticipated happiness along with some reluctance that I have decided to retire from Hanover Township; my last day will be January 15, 2024. It has been an honor and a privilege working for you and serving the Township. I'd like to thank you for the employment opportunity provided as Zoning Officer and Building Code Official serving for more than 18 years.

My decision to retire was not an easy one to make. There are many reasons I chose to retire; nonetheless, I'm looking forward to spending more time with my family and hopefully I'll do some traveling. With having stress-free days, I may rekindle some of my artistic endeavors.

In addition, I'm happy to make myself available to assist Hanover Township when necessary to ensure a smooth transition with new personnel.

After retirement you can reach me through my personal email or on my mobile phone.

Sincerely,



Yvonne D. Kutz



**ORDINANCE NO. 23-5**

**AN ORDINANCE OF THE BOARD OF SUPERVISORS OF THE  
TOWNSHIP OF HANOVER, COUNTY OF NORTHAMPTON,  
COMMONWEALTH OF PENNSYLVANIA AMENDING THE  
TOWNSHIP OF HANOVER'S CODE OF CODIFIED ORDINANCES,  
CHAPTER 136 RESIDENTIAL RENTAL PERMITTING AND  
INSPECTION; SECTION 136-2 DEFINITIONS, TO AMEND CERTAIN  
DEFINITIONS OF ITS ORDINANCE AND REPEAL ALL ORDINANCES  
OR PARTS OF ORDINANCES INCONSISTENT HEREWITH.**

*WHEREAS*, The Supervisors of Hanover Township, Northampton County, Pennsylvania (the "Board"), under the powers vested in them by the "Second Class Township Code" of Pennsylvania as well as other laws of the Commonwealth of Pennsylvania, do hereby enact and ordain the following amendments to the text of the Hanover Township Code of Codified Ordinances (the "Ordinances"); and

*WHEREAS*, the Board desires to amend the Ordinances by providing for amendments to its definitions to Residential Rental Inspection and Permitting within the Township.

**NOW, THEREFORE, BE IT ORDAINED AND ENACTED**, by the Board of Supervisors of Hanover Township, Northampton County, Pennsylvania as follows:

**SECTION 1.** Chapter 136 *Residential Rental Permitting and Inspections*; § 136-2 *Definitions*, is deleted in its entirety and replaced as follows:

**"§ 136-2 Definitions.**

As used in this Chapter, the following words shall have the following meanings. If a term is not defined in this chapter, but is defined in another existing Township ordinance, then that definition shall apply to this chapter.

**AGENT**

Any person designated by the owner of a residential rental unit who has charge, care or control of said residential rental unit.



## **CERTIFICATE OF COMPLIANCE**

The certificate issued by the Code Official which evidences a satisfactory inspection under the provisions of this Chapter.

## **CODE OFFICIAL**

The person or persons authorized by the Township to determine compliance with the provisions of this Chapter and to enforce the same. The Code Official shall include the Township Zoning and/or Property Code Officer as appointed or employed from time to time by the Township Board of Supervisors.

## **CODES**

Any applicable parts of this Chapter, other codes or ordinances as adopted by the Township from time to time, statutes and any rules and regulations promulgated thereunder.

## **COMMON AREA(S)**

In multiple-unit dwellings, space which is not part of a residential rental unit and which is shared with other occupants of the premises whether they reside in residential rental units or not. Common areas shall be considered as part of the premises for purposes of this chapter.

## **DWELLING UNIT**

A unit including but not limited to a single residence, double houses, row houses, townhouses, condominiums, apartment houses, hotel units, motel units and conversion apartments. A dwelling unit shall also comprise units of independent-living facilities, assisted-living facilities, and dwelling units for memory-impaired individuals.

## **FEE**

The fee required to be submitted with the permit application as set by resolution of the Township Board of Supervisors from time to time.



**HOTEL UNIT or MOTEL UNIT**

Any room or group of rooms located within a hotel or motel forming a single habitable unit used or intended to be used on a transient basis.

**MULTIPLE-UNIT DWELLING(S)**

A building containing two or more independent dwelling units, including, but not limited to, double houses, row houses, townhouses, condominiums, apartment houses hotels, motels, and conversion apartments. Multiple-dwelling units shall also include independent-living facilities, assisted living-facilities, and those facilities containing dwelling units for memory-impaired individuals.

**NOTICE OF VIOLATION or NOV**

A violation notice issued by the Code Official under this chapter.

**OCCUPANT**

An individual who resides in, but is not the owner of, a residential rental unit.

**OWNER**

Any person, agent, operator, firm, corporation, partnership, limited liability company, limited liability partnership, association, other entity, property management group, or fiduciary holding or having legal, equitable or other interest in any real property or otherwise having control of the property, including the guardian of the estate of any such person and the executor or administrator of such person's estate. When used in this chapter in a clause proscribing any activity or imposing a penalty, the term as applied to corporations, partnerships, limited liability companies, limited liability partnerships, associations, other entities, or property management groups shall include each and every member, shareholder, partner (limited or general), director, officer and other individual having an interest in the entity, controlling or otherwise.



## **PERMIT APPLICATION**

The zoning permit application required by § 136-5 herein.

## **PREMISES**

The real property on which a dwelling unit is located.

## **RESIDENTIAL RENTAL UNIT**

A dwelling unit not occupied by the owner thereof.

## **TOWNSHIP**

Hanover Township, Northampton County, Pennsylvania.

## **UNIT**

A living area comprised of one or more rooms used for living, sleeping and habitation purposes and having its own kitchen and sanitation facilities, all arranged for occupancy by one or more persons.

## **ZONING PERMIT**

A permit issued in accordance with § 136-5 of this chapter.”

**SECTION 2.** All Ordinances and parts of Ordinances inconsistent herewith are hereby repealed.

**SECTION 3.** The provisions of this Ordinance shall be severable and if any provision thereof shall be declared unconstitutional, illegal or invalid, such decision shall not affect the validity of any of the remaining provisions of this Ordinance. It is hereby declared as a legislative intent of the Township that this Ordinance would have been enacted had such unconstitutional, illegal or invalid provision(s) not been included herein.



**SECTION 4.** This Ordinance shall become effective within five (5) days of enactment.

**ENACTED AND ORDAINED** at a regular meeting of the Board of Supervisors of the Township of Hanover, County of Northampton on this **24<sup>TH</sup>** day of **OCTOBER, 2023**.

**ATTEST:**

**BOARD OF SUPERVISORS,  
HANOVER TOWNSHIP,  
NORTHAMPTON COUNTY,  
PENNSYLVANIA**

By: \_\_\_\_\_  
**KIMBERLY R. LYMANSTALL,**  
**Secretary**

By: \_\_\_\_\_  
**JOHN N. DIACOGIANNIS,**  
**Chairman**



**TOWNSHIP OF HANOVER  
NORTHAMPTON COUNTY, PENNSYLVANIA  
RESOLUTION NO. 23-32**

**A RESOLUTION OF HANOVER TOWNSHIP, NORTHAMPTON COUNTY,  
PENNSYLVANIA (HEREINAFTER THE "TOWNSHIP") ADOPTING A  
REVISION TO THE OFFICIAL SEWAGE FACILITIES PLAN (THE  
"OFFICIAL PLAN") OF THE TOWNSHIP WHICH INCLUDES AN ACT 537  
PLANNING SPECIAL STUDY**

*WHEREAS*, Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537 known as the "Pennsylvania Sewage Facilities Act", as Amended, and the Rules and Regulations of the Pennsylvania Department of Environmental Protection (PADEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the Township to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters and/or environmental health hazards with sewage wastes, and to revise said Plan whenever it is necessary to meet the sewage disposal needs of the Township.

*WHEREAS*, AECOM has prepared an Act 537 Special Study ("the Special Study") which provides for an increase in the organic design capacity at the City of Bethlehem's Wastewater Treatment Plant ("CBWTP"); and

*WHEREAS*, portions of Hanover Township, Northampton County are served by the CBWTP; and

*WHEREAS*, the selected alternative of the Special Study is the installation of a Chemically Enhanced Primary Treatment (CEPT) system.

***NOW, THEREFORE, BE IT RESOLVED*** that Hanover Township, Northampton County has found the Special Study adequate for the wastewater disposal and management needs of the Township and hereby adopts the Special Study known as the City of Bethlehem Act 537 Special Study, dated June 2023, as a revision to the Official Plan of the Township. The Hanover Township, Northampton County Board of Supervisors hereby assures the Department of the proper and timely implementation of the official Plan as set forth herein.

ATTEST:

HANOVER TOWNSHIP,  
NORTHAMPTON COUNTY,  
PENNSYLVANIA

By: \_\_\_\_\_  
Kimberly R. Lymanstall, Secretary,  
Board of Supervisors

By: \_\_\_\_\_  
John N. Diacogiannis, Chairman,  
Board of Supervisors

I, John J. Finnigan, Jr., Township Manager, Hanover Township, Northampton County, hereby certify that the foregoing is a true copy of the Township's Resolution No. \_\_\_\_\_, adopted \_\_\_\_\_, 2023.





# CITY OF BETHLEHEM

10 East Church Street, Bethlehem, Pennsylvania 18018-6025

Department of Water and Sewer Resources

[www.bethlehem-pa.gov](http://www.bethlehem-pa.gov)

Phone: 610-865-7207

Fax: 610-865-7331

October 10, 2023

John Finnigan, Jr.  
Township Manager  
Hanover Township, Northampton County  
3630 Jacksonville Road  
Bethlehem, Pennsylvania 18017-9302

**Re: Act 537 Special Study  
City of Bethlehem Wastewater Treatment Plant  
Request for Municipal Adoption by Resolution**

Dear Mr. Finnigan:

Attached please find an amended copy of the City of Bethlehem Act 537 Special Study for final adoption by the Hanover Township Board of Supervisors. All municipal planning commission reviews and comments have been incorporated. No public comments were received following the 30-day public comment period.

Also attached is a draft resolution for your use to edit and submit to the Board for their consideration. We will require an original signed and sealed Resolution of Adoption to include with the Act 537 Special Study when we submit it to the Pennsylvania Department of Environmental Protection (PaDEP) for their review and approval. Please send hardcopy of the original signed and sealed Resolution to:

Chris Rogers, AICP  
AECOM  
248 Chapman Road, Suite 101  
Newark, Delaware 19702

It will be appreciated if this can be completed by end of year 2023.

## **Project Summary**

Please recall that the purpose of this Act 537 Special Study is to evaluate alternatives to upgrade the Bethlehem WWTP to increase the organic design capacity from 39,365 pounds per day (lbs/day) of biochemical oxygen demand (BOD) to 50,000 lbs/day. An increase in organic design capacity at the WWTP is necessary due to the continued increases in the organic loading concentration of the sewage entering the WWTP.

The selected alternative for this Act 537 Special Study is the installation of a Chemically Enhanced Primary Treatment (CEPT) system at the WWTP. The CEPT alternative provides for a cost-effective and phased solution to address the increasing trend in organic concentration.



This Special Study does not address the hydraulic design capacity of the WWTP. The hydraulic design capacity will remain at 20 MGD with an administrative limit of 15.5 MGD as described in the City's approved 2012 Act 537 Plan. As such, sewage allocations for the tributary municipalities are not addressed in this Special Study. Also, the Special Study does not address the sewage collection system and does not change the sewage service area in any of the municipalities. The City anticipates no additional capital debt service charge to Hanover Township related to implementation of this Special Study.

#### **Municipal Review and Approval Process**

The Act 537 Special Study was reviewed by the Hanover Township Planning Commission at their July 11, 2023 meeting. The Special Study is now ready for review and adoption by the Hanover Township Board of Supervisors.

Please note that the City's WWTP serves all or parts of the following municipalities: City of Bethlehem, Hanover Township Northampton County, Hanover Township Lehigh County, Hellertown Borough, Fountain Hill Borough, Bethlehem Township, Freemansburg Borough, City of Allentown, Salisbury Township, Lower Saucon Township, Palmer Township, Lower Nazareth Township and East Allen Township. All will be subject to the same process as described herein. In addition, the Act 537 Special Study was reviewed by the Lehigh Valley Planning Commission and the Bethlehem Health Bureau as required by PA Code. Their comments are included in the amended Study.

Thank you for your assistance with this project. Please feel free to contact me at 610-865-7207 or [EBoscola@bethlehem-pa.gov](mailto:EBoscola@bethlehem-pa.gov) should you have any questions or need additional information.

Sincerely,



Edward J. Boscola, PE  
Director of Water and Sewer Resources  
City of Bethlehem

cc: Chris Rogers, AICP, AECOM  
Jack Lawrence, Bethlehem WWTP Superintendent



A.E.B. AMUSEMENTS 1400 MORVALE ROAD EASTON, PA 18042-6852  
PHONE 610-252-2551 E-MAIL AEB Carnival@aol.com



This contract made and entered into this the 14 day of OCTOBER A.D. 2023, by and between, A.E.B. AMUSEMENTS (the "party of the first part") and HANOVER TOWNSHIP (the "party of the second part"). Witnessed: That for and in consideration of the sum of One Dollar, each paid in the hand of the other, the receipt of which is herein acknowledged, and other good and valuable consideration which is herein after set forth, both parties aforesaid bind themselves as follows, to-wit:

That the party of the first part agrees to; present their riding devices, concessions, games and other needed and complimentary support equipment in the city of HANOVER TOWNSHIP, PA for a period of 4 days and nights, commencing JUNE 5, 2024 and ending JUNE 8, 2024 both dates inclusive. Also, the party of the first part will provide; Ride Tickets and a Ticket Booth with signage for such. Advertisement posters also available, upon request.

That the party of the second part hereby agrees to furnish; all licenses and taxes that may be required by law, 24 hour electric current (to be delivered to a central location) to be used as needed of at least 50amps, 220v., water hook-up, restrooms (all of which to be provided no later than the morning after our arrival), and a suitable grounds location known as COMMUNITY CENTER. Also, a ticket seller must be provided for the days of the event. Where admission is charged, free admission shall be granted to all involved with the party of the first part. All office owned rides, shows, concessions, and minor privileges shall be under control of the management of the party of the first part.

That as consideration for the above mentioned, the party of the first part agrees to pay the party of the second part a sum of 20 percent of the receipts of all shows and rides, also a flat sum of \$ 75 for each concession unit. Payments to be made on shows and rides at the close of each days business, and on concessions no later than the end of the event.

That the party of the second part further agrees to use their influence to prevent other like attractions from exhibiting in the aforesaid city until after the termination of this agreement.

It is mutually agreed, that if the party of the first part fails to appear in the city of the party of the second part, with all or any part of it's equipment, due to an ACT OF GOD or any unforeseen circumstances, over which the party of the first part has no control, then they are not liable for any damages to the party of the second part.

That it is agreed by both parties hereto that there is no other contract or promise either written or verbal, existing between them, and this contract is subjected to the approval of the Manager either by mail or by his presence.

This contract entered into and signed in duplicate in the city of \_\_\_\_\_, PA this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_ by the duty of the authorized representatives of the parties hereto.

This date to be known and advertised as: JUNE 5-8, 2024

MIDWAY PROVIDED BY: A.E.B. AMUSEMENTS 610-252-2551 484 358 1021

BY: [Signature]  
-GENERAL MANAGER, A.E.B. AMUSEMENTS

BY: \_\_\_\_\_

WITNESS PRESENT \_\_\_\_\_ BY \_\_\_\_\_  
PARTY OF THE SECOND PART

WITNESS PRESENT \_\_\_\_\_ BY \_\_\_\_\_  
PARTY OF THE SECOND PART

\*\*\*\* ANY ADDITIONAL IMPORTANT INFORMATION ON REVERSE SIDE\*\*\*\*



POP CORN, COTTON CANDY, CANDY APPLES, ETC. CONFECTION STAND- FREE TO THE PARTY OF THE FIRST PART

10+ RIDES

Scrap GAMES

OTHER FOOD: Fruit CAKE FRENCH PRY ICE CREAM SANDWICH TRUCK

RIDE/FAMILY SPECIALS:

WEDNESDAY \$2.00 RIDES  
THURSDAY \$2.00 WRISTBANDS

SPECIAL INSTRUCTIONS:

NO OTHER MECHANICAL AMUSEMENT RIDES SHALL BE PRESENT/OPERATING AT THIS EVENT. NO OTHER PROFESSIONAL/FOR PROFIT GAMES OR FOOD OPERATORS SHALL BE AT THIS EVENT WITHOUT EITHER; PREVIOUS APPROVAL OR CONSULTING WITH A.E.B. AMUSEMENTS OR PRIOR OPERATION AT AN EVENT THAT WE ARE NEWLY PROVIDING FOR.

ALL SHALL TRY THEIR BEST NOT TO BE CONFLICTING WITH FOOD ITEMS AND/OR GAMES IN DESIGN, QUESTIONS OR CONCERNS SHOULD BE ADRESSED IF AND AS SOON AS AN ISSUE MAY ARISE.

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ANY OTHER INFORMATION: